

CONSTRUCTION SEQUENCE

1. CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS HAVE BEEN RECEIVED AND THAT THOSE REQUIRED TO BE DISPLAYED ON-SITE ARE AVAILABLE.
2. CONTRACTOR SHALL HOLD PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS BEFORE THE ACTUAL START OF CONSTRUCTION.
3. CONTRACTOR SHALL CONTACT CAROLINA ONE CALL AND ALL ENTITIES HAVING BURIED UTILITIES AT LEAST 72 HOURS PRIOR TO DIGGING OR AS DIRECTED AT THE PRE-CONSTRUCTION MEETING.
4. CONTRACTOR SHALL MAINTAIN TRAFFIC AND SAFETY CONTROL MEASURES AT ALL TIMES ON THE PROJECT. (SEE TRAFFIC CONTROL.)
5. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES (IF ANY) AT EACH POINT OF ACCESS TO STORAGE AND CONSTRUCTION AREAS.
6. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH PLANS AND BEFORE STARTING WORK.
7. CONTRACTOR SHALL CLEAR RIGHT-OF-WAY IF NECESSARY.
8. STOCKPILE RIP-RAP ON SITE AND INSTALL ALL OTHER EROSION CONTROL MEASURES WHERE THE WORK IS OCCURRING. THE CONTRACTOR SHALL NOT INSTALL EROSION CONTROL MEASURES IN AREAS WHERE THE WORK WILL NOT OCCUR FOR SOME TIME. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY/PROJECT ENGINEER OR UPON RECOMMENDATION OF NC DEQ PERSONNEL AS CONDITIONS WARRANT.
9. STABILIZATION FOR THIS PROJECT SHALL COMPLY WITH THE TIME FRAME GUIDELINES AS SPECIFIED BY THE NC-010000 GENERAL CONSTRUCTION PERMIT EFFECTIVE AUGUST 3, 2011 ISSUED BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES DIVISION OF WATER QUALITY.
10. CONTRACTOR SHALL COORDINATE ALL BLOW-OFFS AND TESTING WITH THE CITY ENGINEERING DEPARTMENT'S CONSTRUCTION ADMINISTRATOR AT LEAST 24 HOURS IN ADVANCE OF SUCH WORK. NOTIFY THE RESPONSE AREA FIRE DEPARTMENT IF EXISTING SYSTEM VALVES NEED TO BE SHUT OFF IN THE COURSE OF THE WORK.
11. UPON COMPLETION OF THE INSTALLATION AND WITH APPROVAL OF NC DEQ-DLR, ALL EROSION CONTROL DEVICES EXCEPT FOR CREEK/STREAM BANK STABILIZATION SHALL BE REMOVED AND DISPOSED OF IN AN ACCEPTABLE MANNER. EACH SECTION SHALL BE SEEDED AT EARLIEST POSSIBLE DATE AFTER INSTALLATION OF PIPE, STRUCTURE, OR ACCESS.
12. ONCE GROUND COVER IS FIRMLY ESTABLISHED, ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WITH THE APPROVAL OF NC DEQ-DLR.
13. CONTRACTOR SHALL REFERENCE SPECIAL CONDITIONS FOR JOB SEQUENCE AND OTHER DIRECTIONS, IF ANY. CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITY WITH THE CITY ENGINEERING DEPARTMENT.

GENERAL NOTES

1. ALL MATERIALS, EQUIPMENT, LABOR, AND WORKMANSHIP IS TO BE IN ACCORDANCE WITH AND SUBJECT TO THE WATER AND SEWER AUTHORITY OF CABARRUS COUNTY'S STANDARD SPECIFICATIONS; THE CITY OF CONCORD'S ORDINANCES, POLICES, AND STANDARD SPECIFICATIONS; AND NCDOT STANDARD SPECIFICATIONS, AND THE NORTH CAROLINA ADMINISTRATIVE CODE FOR WASTEWATER COLLECTION AND WATER DISTRIBUTION SYSTEMS. IN THE EVENT OF CONFLICT BETWEEN THE WATER AND SEWER AUTHORITY OF CABARRUS COUNTY'S STANDARD SPECIFICATION; THE CITY OF CONCORD'S ORDINANCES, POLICES, AND STANDARD SPECIFICATIONS; AND NCDOT STANDARD SPECIFICATIONS, OR THE NORTH CAROLINA ADMINISTRATIVE CODE, THE MORE RESTRICTIVE REQUIREMENTS SHALL APPLY.
2. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE LATEST STANDARDS OF THE N.C. SEDIMENTATION POLLUTION CONTROL ACT AND APPLICABLE LOCAL AND FEDERAL REQUIREMENTS.
3. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION ADMINISTRATOR OF THE CITY OF CONCORD ENGINEERING DEPARTMENT AT LEAST 48 HOURS IN ADVANCE OF BEGINNING WORK.
4. INDIVIDUAL WATER, GAS, SEWER, TELEPHONE, AND CABLE SERVICES MAY OR MAY NOT BE SHOWN ON THE PLANS. CONTRACTOR TO CONTACT APPROPRIATE AGENCY FOR FIELD LOCATIONS.
5. CITY OF CONCORD ELECTRIC, WATER, AND SEWER DEPARTMENT PERSONNEL WILL ASSIST THE CONTRACTOR IN LOCATING ALL CITY OF CONCORD UTILITY SERVICES AND LINES.
6. IF MAILBOX PULL-OFF AREAS ARE DISTURBED, CRUSHED STONE STABILIZER SHALL BE PLACED WITH SUFFICIENT LENGTH TO ACCOMMODATE VEHICULAR TRAFFIC. THESE AREAS SHALL BE MAINTAINED FOR THE ONE-YEAR WARRANTY PERIOD. THE COST OF THESE ITEMS SHALL BE INCLUDED IN THE COST OF LAYING PIPE AND OR REPLACING CULVERTS.
7. THIS PROJECT IS NOT SUBJECT TO 100 YEAR FLOOD PER FIRM MAP 371056200K, NOVEMBER 16, 2018.
8. FIRE HYDRANT EXTENSIONS, IF NEEDED, SHALL BE INCLUDED IN THE COST OF THE HYDRANT INSTALLATION.
9. GATE OR BUTTERFLY VALVES, BLOW-OFFS, AND FIRE HYDRANTS MAY BE FIELD ADJUSTED 50 FEET IN EITHER DIRECTION WITH THE PERMISSION OF THE ENGINEERING AND WATER RESOURCES DEPARTMENTS.

RIGHT-OF-WAY NOTES

1. RIGHT-OF-WAY LINES AND PROPERTY LINES ARE SHOWN ON THE DESIGN DRAWINGS AND ARE FOR REFERENCE ONLY. FOR EXACT LOCATIONS REFER TO THE SURVEY PLATS BY THE CITY OF CONCORD'S CONSULTING REGISTERED LAND SURVEYOR OR BY THE CITY SURVEYOR.
2. REFER TO STANDARDS AND SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION FOR FURTHER DETAILS CONCERNING THE RIGHT-OF-WAY.

TRAFFIC CONTROL

1. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES FOR WORK ZONE TRAFFIC SAFETY AND CONTROL.
2. ALL WORK ZONE TRAFFIC CONTROL DEVICES AND OPERATIONS USED ON STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE, UTILITY OR INCIDENT MANAGEMENT SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS IN THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD).
3. ALL TRAFFIC/SAFETY CONTROL DEVICES SHALL BE IN GOOD REPAIR AND SHALL BE POSITIONED AT ALL TIMES IN THE APPROPRIATE LOCATIONS FOR THE WORK OPERATION. THE CONTRACTOR SHALL CAREFULLY MONITOR SITE CONDITIONS SUCH AS LIGHT, WEATHER, TRAFFIC VOLUME, ETC. TO ENSURE THAT ALL TRAFFIC/SAFETY CONTROL MEASURES ARE OPERATING EFFECTIVELY.

# 174 BOOKER DRIVE S.W. CITY OF CONCORD CONCORD, NORTH CAROLINA LOGAN RECREATION CENTER PARKING LOT EXTENTION PROJECT # 2020-001



VICINITY MAP  
SCALE: N.T.S.

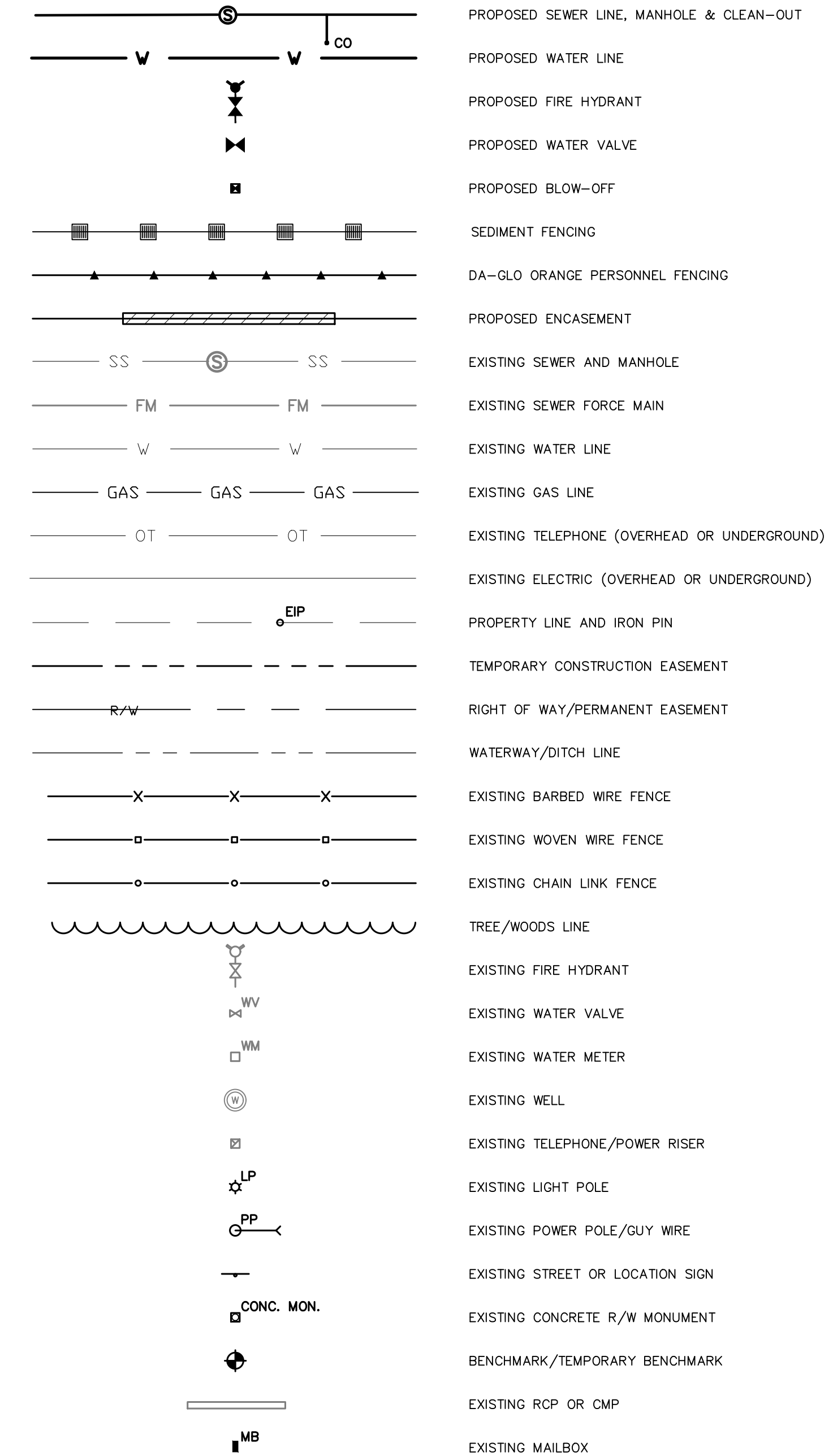
NARRATIVE DESCRIPTION

THIS PROJECT CONSISTS OF APPROX. 11,719 sq. ft. OF ASPHALT FOR THE INSTALLATION OF A NEW PARKING LOT FOR LOGAN COMMUNITY CENTER.

THE EFFECTIVE AREA OF GROUND DISTURBANCE IS .43± ACRES. THE WORK IS TO PROCEED IN SUCH A MANNER AS TO LIMIT THE AMOUNT OF GROUND DISTURBANCE BY HAVING ONLY ONE SECTION OF THE DITCH OPEN AT A TIME THEREBY REDUCING THE POTENTIAL FOR LARGE QUANTITIES OF SEDIMENT TO BE TRANSPORTED OFF-SITE. SEEDING OF DENUDED AREAS SHALL BE DONE AS SOON AS POSSIBLE, BUT IN NO CASE LONGER THAN 10 DAYS AND IN ACCORDANCE WITH THE SPECIFICATIONS GIVEN IN THE PLANS. REMOVAL OF ALL SEDIMENTATION AND EROSION CONTROL DEVICES SHALL ONLY BE DONE AFTER APPROVAL HAS BEEN COORDINATED WITH NCDEQ - DIVISION OF ENERGY, MINERAL AND RESOURCES AND THE CITY OF CONCORD. LOCATION AND PROTECTION OF ALL UTILITIES IN THE WORK AREA SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. IN THE EVENT OF AN UNFORESEEN CONFLICT, THE CONTRACTOR SHALL NOTIFY THE CITY OF CONCORD ENGINEERING DEPARTMENT IMMEDIATELY.

ALL TRAFFIC CONTROL AND SAFETY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE CONDUCTED IN STRICT ACCORDANCE WITH THE LATEST REVISION OF PART IV OF THE M.U.T.C.D., NCDOT, AND ALL OTHER STATE AND FEDERAL REGULATIONS. COMPLETION AND ACCEPTANCE OF THE WORK IS ANTICIPATED TO BE READY FALL OF 2025.

LEGEND

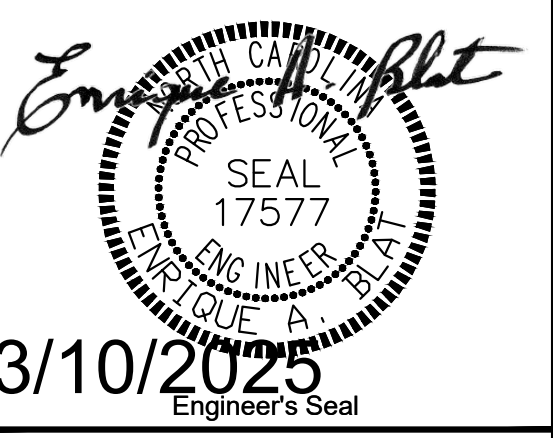


DRAWING INDEX

SHEET	DESCRIPTION
1	PROJECT NARRATIVE, NOTES, LEGEND, SITE MAP
2	EXISTING CONDITIONS
3	EROSION CONTROL AND DEMOLITION PLAN
4	GRADING PLAN
5	STORM DRAINAGE PLAN PROFILE
6-8	RETAINING WALL PLAN AND PROFILE
9	FILTERRA BASIN DETAILS
10	STORM DRAINAGE DETAILS
11	RETAINING WALL & PAVEMENT DETAILS
12	DETAILS - EROSION CONTROL
13-14	PLANTING PLAN
15	OVERALL PARKING PLAN



PREPARED BY  
ENGINEERING DEPARTMENT  
CITY OF CONCORD  
P.O. BOX 308  
CONCORD N.C. 28026  
(704) 920-5425



Surveyor's Seal

REV. #	DATE	DESCRIPTION

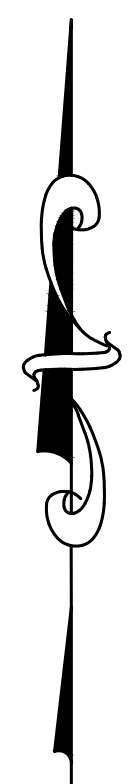
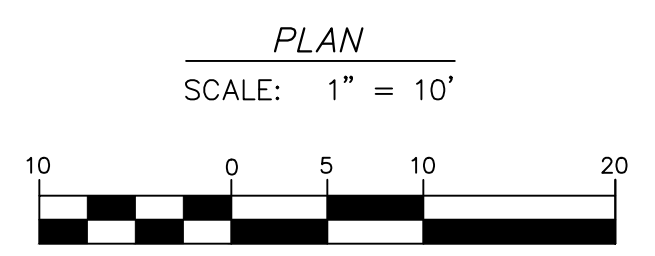
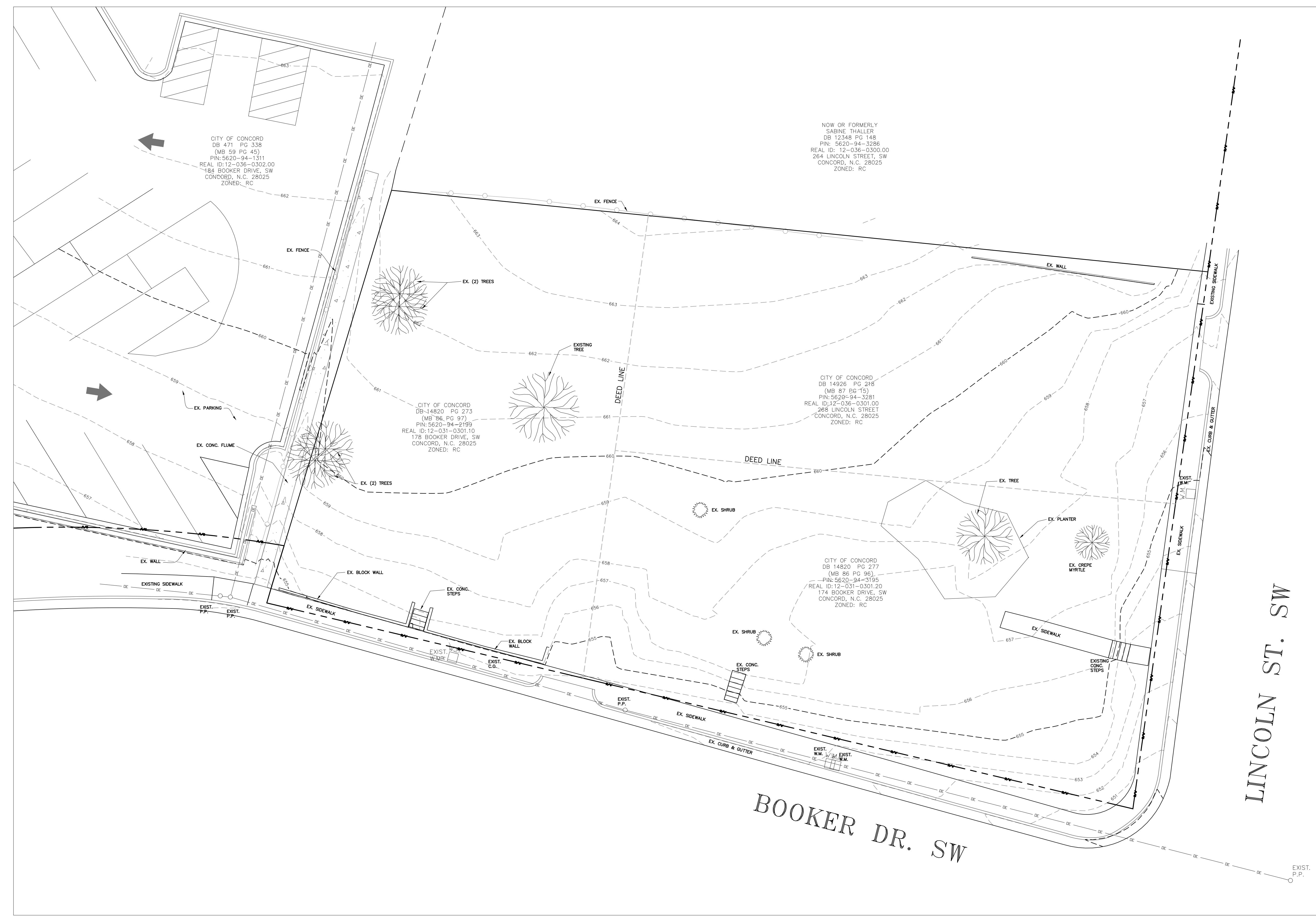
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Engineer's Seal

Surveyor's Seal

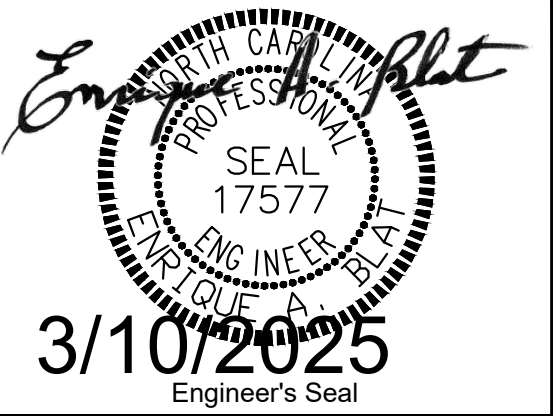
LOGAN REC. PARKING EXTENSION  
EXISTING CONDITIONS  
PROJECT # : 2020-001

REV. #	DATE	DESCRIPTION	BY

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DRAWN BY: JBC  
CHECKED BY: EAB  
SCALE: AS SHOWN  
DATE: 12/10/2024  
PROJECT NUMBER: 2020-001  
SHEET: 2 OF: 15







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**LOGAN REC. PARKING EXTENSION  
GRADING & DESIGN PLAN**  
PROJECT # : 2020-001

REV. #	DATE	DESCRIPTION	BY

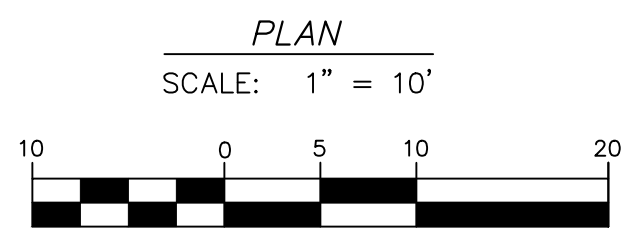
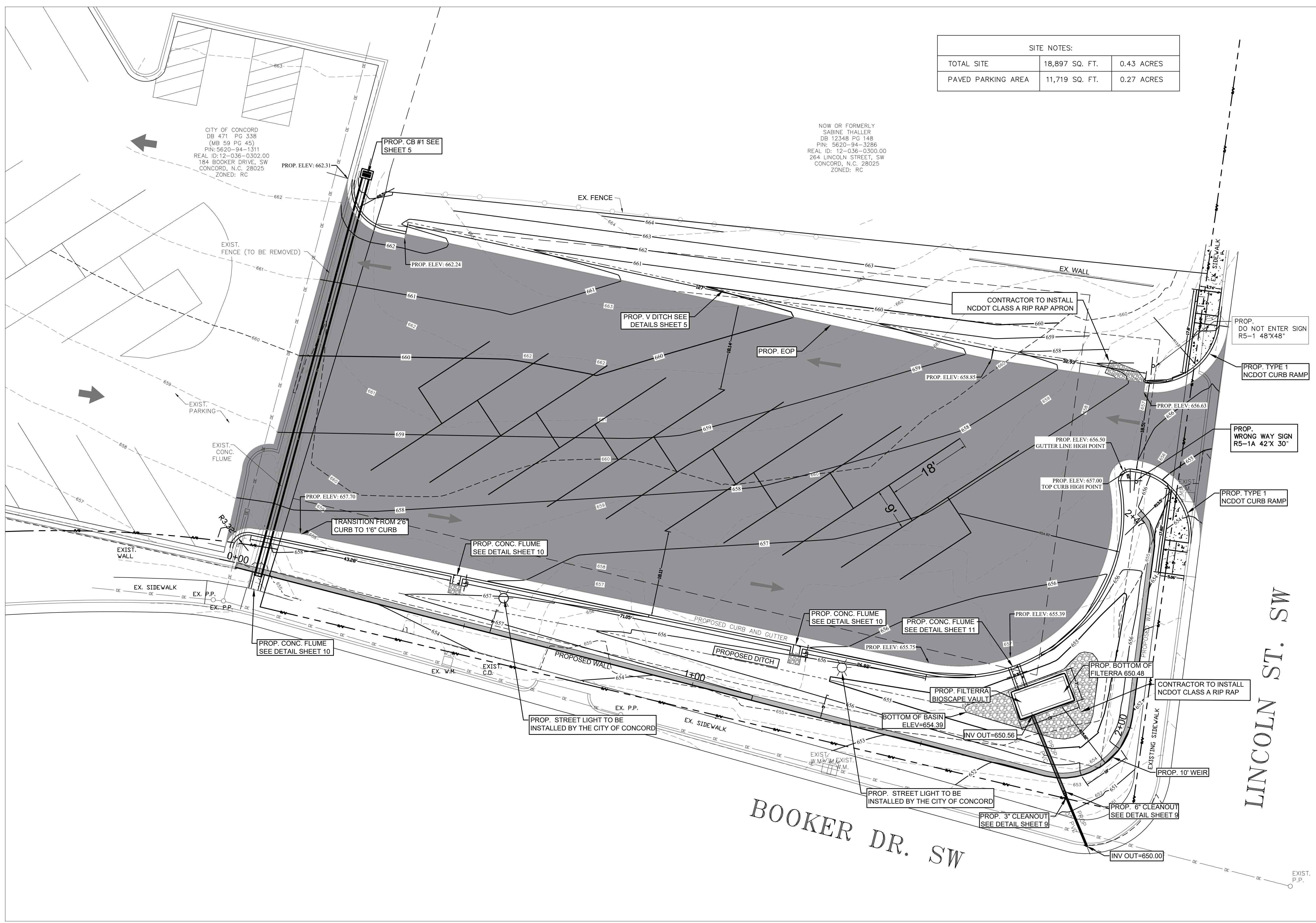
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PROJECT NUMBER: 2020-001  
SHEET: 4 OF: 15

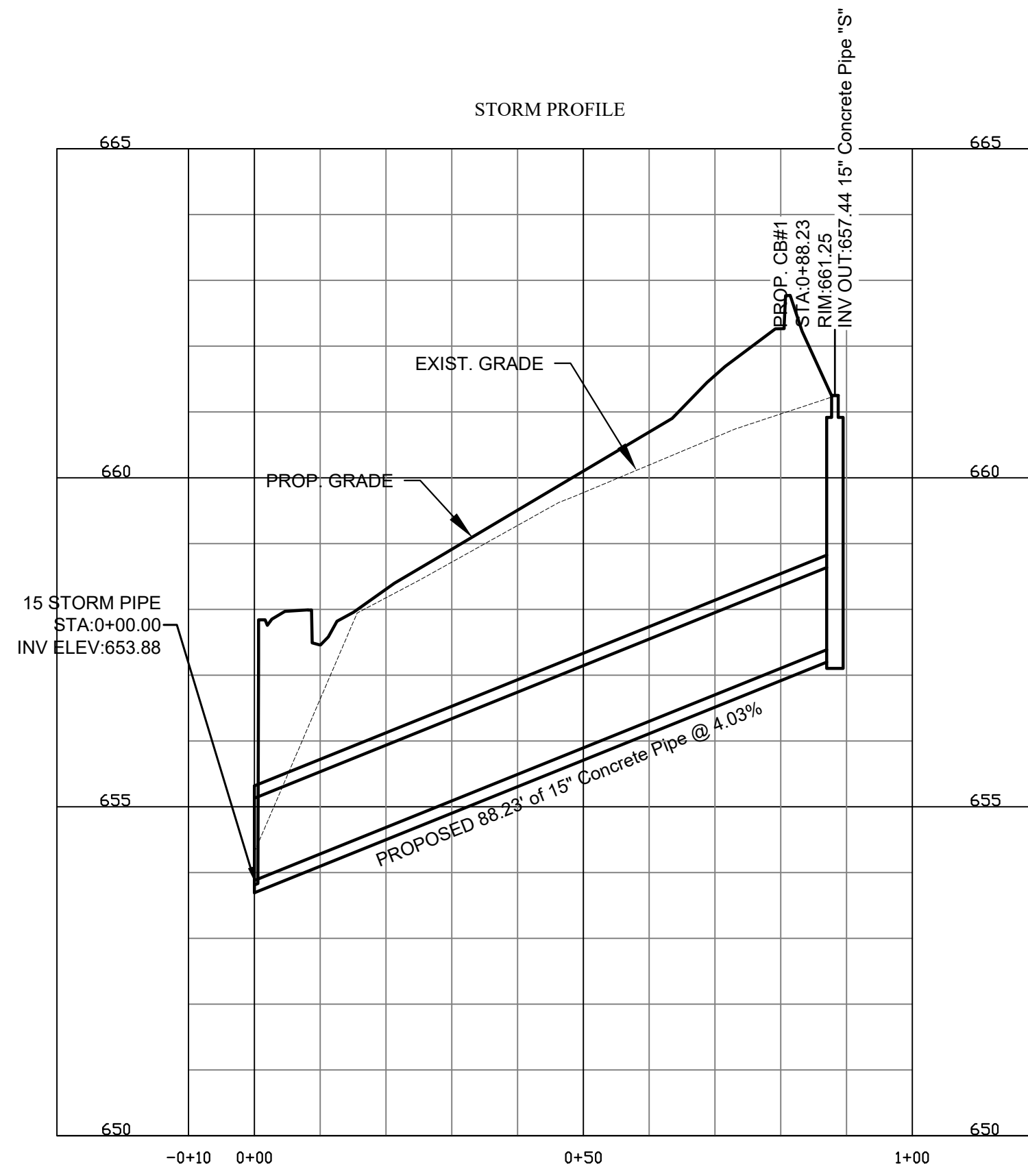
SITE NOTES:

TOTAL SITE	18,897 SQ. FT.	0.43 ACRES
PAVED PARKING AREA	11,719 SQ. FT.	0.27 ACRES

NOW OR FORMERLY  
SABINE THALLER  
DB 12348 PG 148  
PIN: 5620-94-3286  
REAL ID: 12-036-0300.00  
284 LINCOLN STREET, SW  
CONCORD, N.C. 28025  
ZONED: RC

CITY OF CONCORD  
DB 471 PG 338  
(MB 59 PG 45)  
PIN: 5620-94-1311  
REAL ID: 12-036-0302.00  
184 BOOKER DRIVE, SW  
CONCORD, N.C. 28025  
ZONED: RC



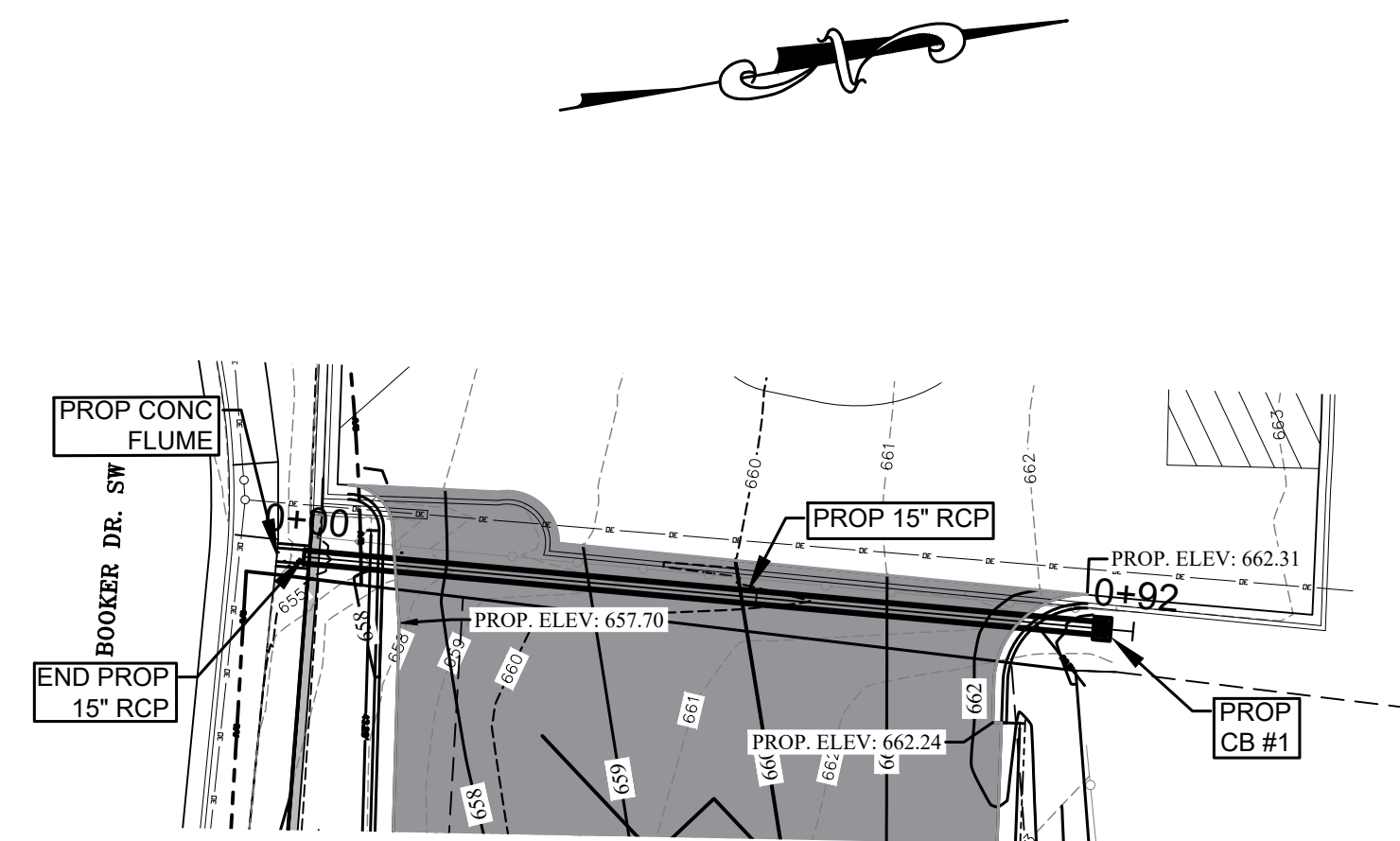


*PROFILE*

SCALE: HORZ: 1" = 20'  
VERT: 1" = 2'

Surveyor's Seal

LOGAN REC. PARKING EXTENTION  
STORM DRAINAGE PLAN & PROFILE  
PROJECT # : 2020-001



*PLAN*

SCALE: 1" = 20'

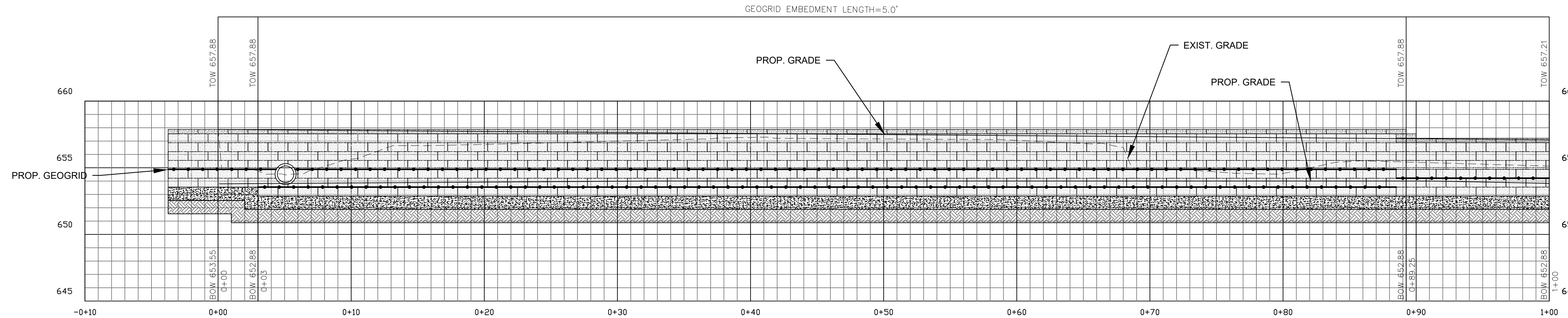
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DRAWN BY: JBC  
CHECKED BY: EAB  
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DATE: 12/10/2024  
PROJECT NUMBER: 2020-001  
SHEET: 5 OF: 15

LOGAN REC. PARKING EXTENTION  
WALL PLAN & PROFILE  
PROJECT # : 2020-001

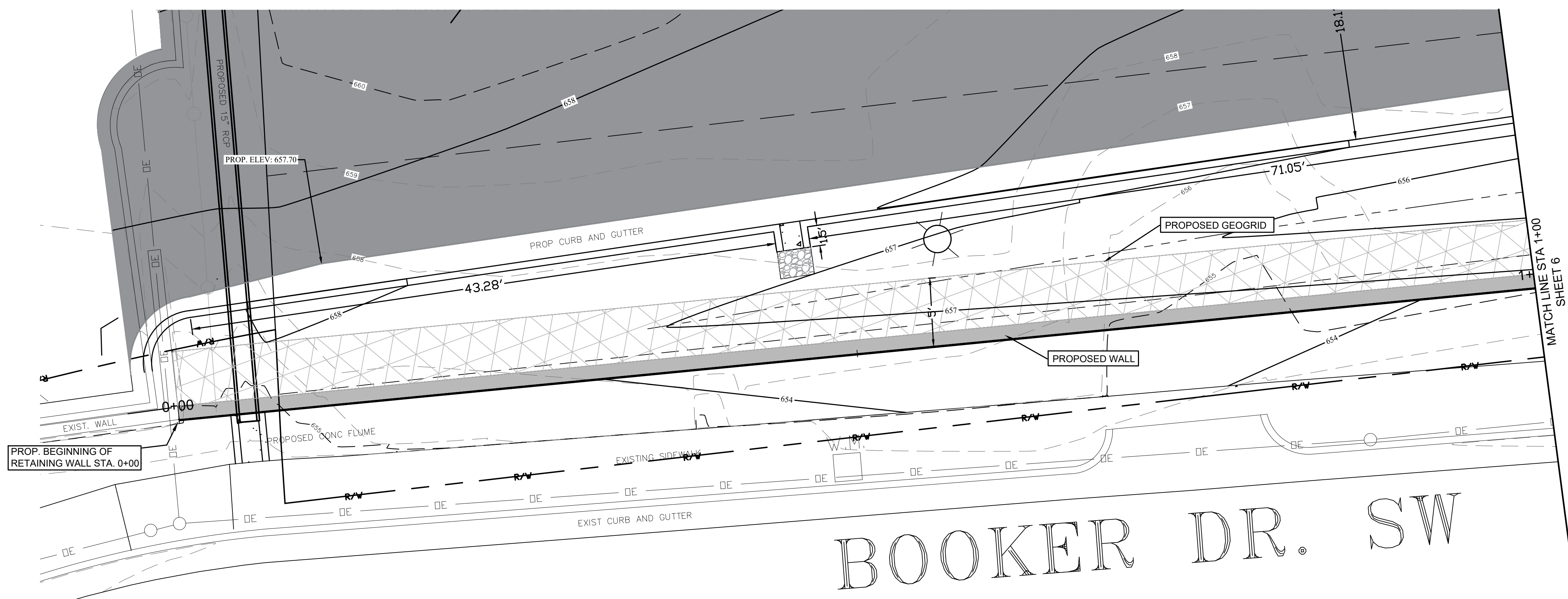
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SHEET: 6 OF: 15

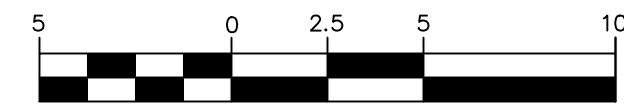


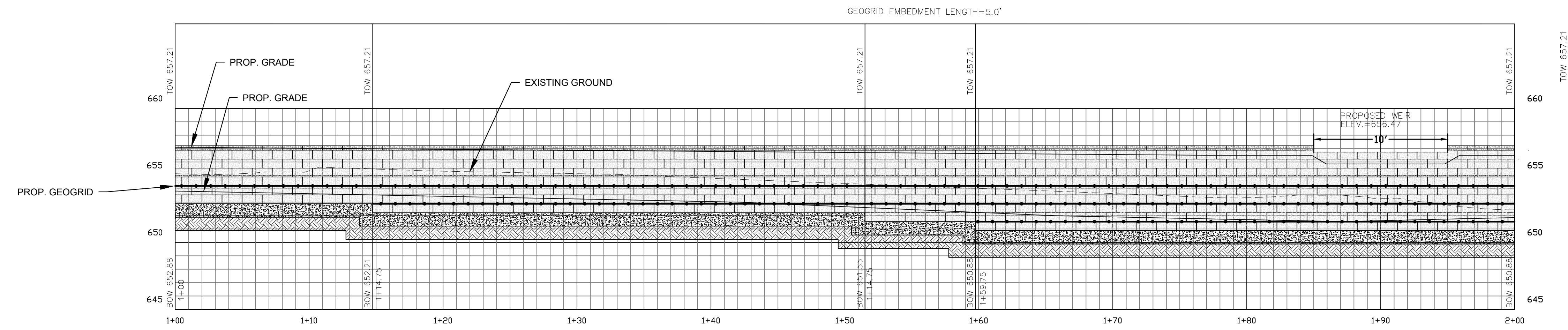
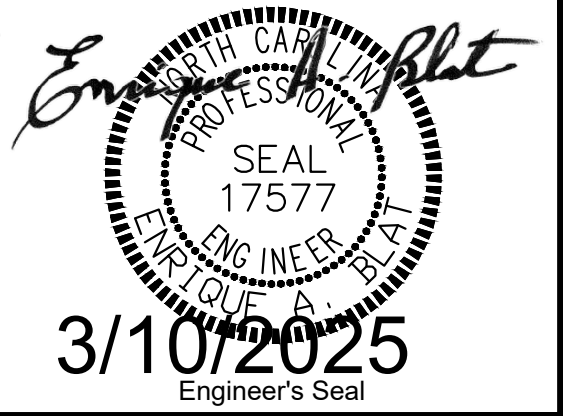
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ALL GEOGRID IS GEOSTAR  
TECHNOLOGIES HP200

**PROFILE**  
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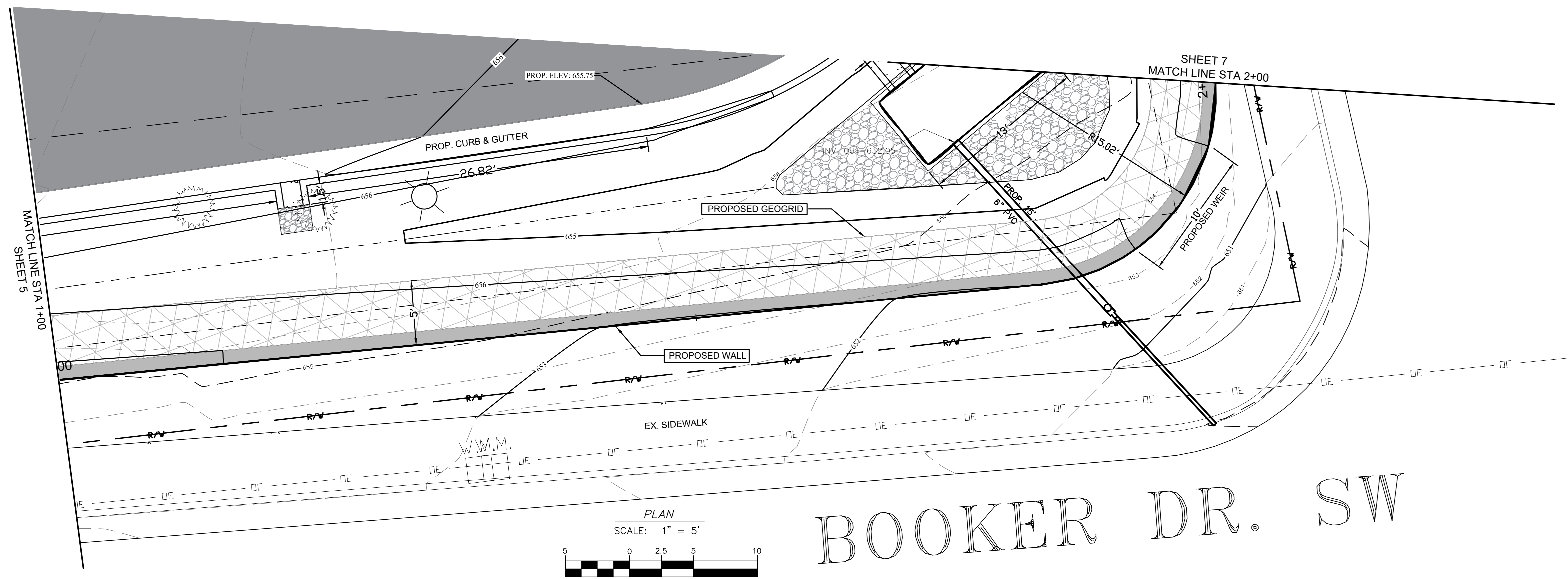
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SCALE: 1" = 5'





NOTE:  
ALL GEOGRID IS GEOSTAR  
TECHNOLOGIES HP200

PROFILE  
SCALE: HORZ: 1" = 5'  
VERT: 1" = 5'



PLAN  
SCALE: 1" = 5'

LOGAN REC. PARKING EXTENTION  
WALL PLAN & PROFILE  
PROJECT # : 2020-001

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DRAWN BY: JBC  
CHECKED BY: EAB  
SCALE: AS SHOWN  
DATE: 12/10/2024  
PROJECT NUMBER: 2020-001  
SHEET: 7 OF: 15



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CITY OF CONCORD  
P. O. BOX 308  
CONCORD N. C. 28026  
(704) 920-5425

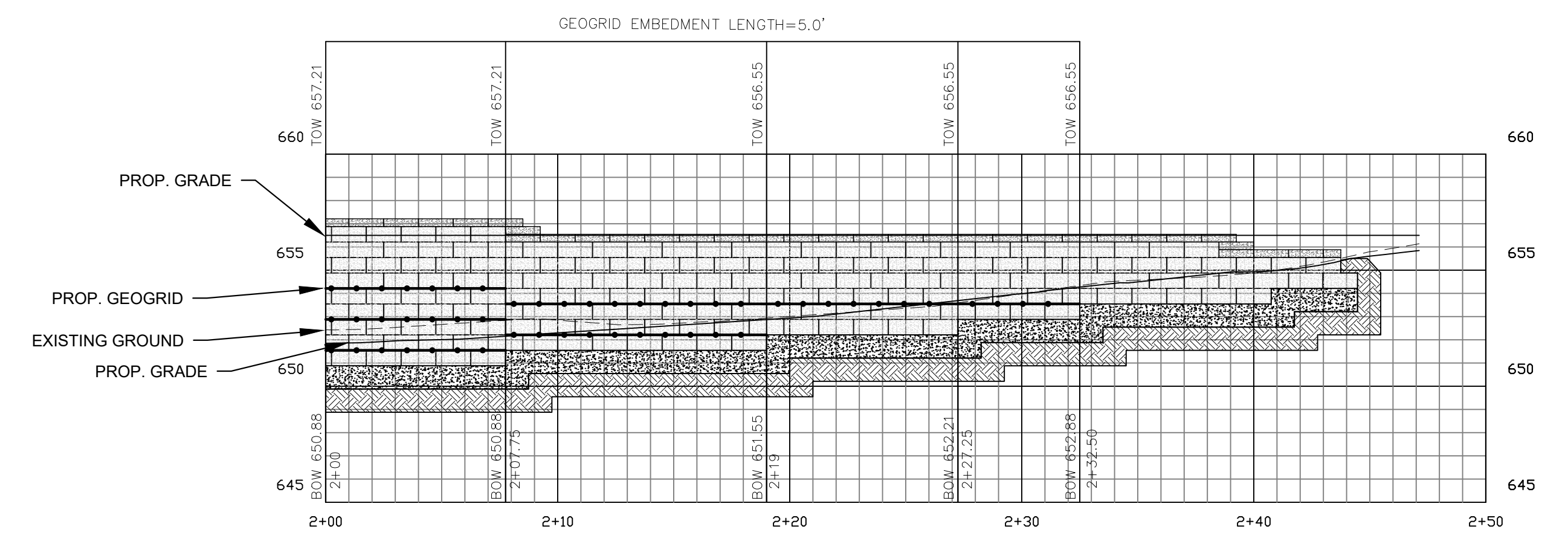


Engineer's Seal

3/10/2025

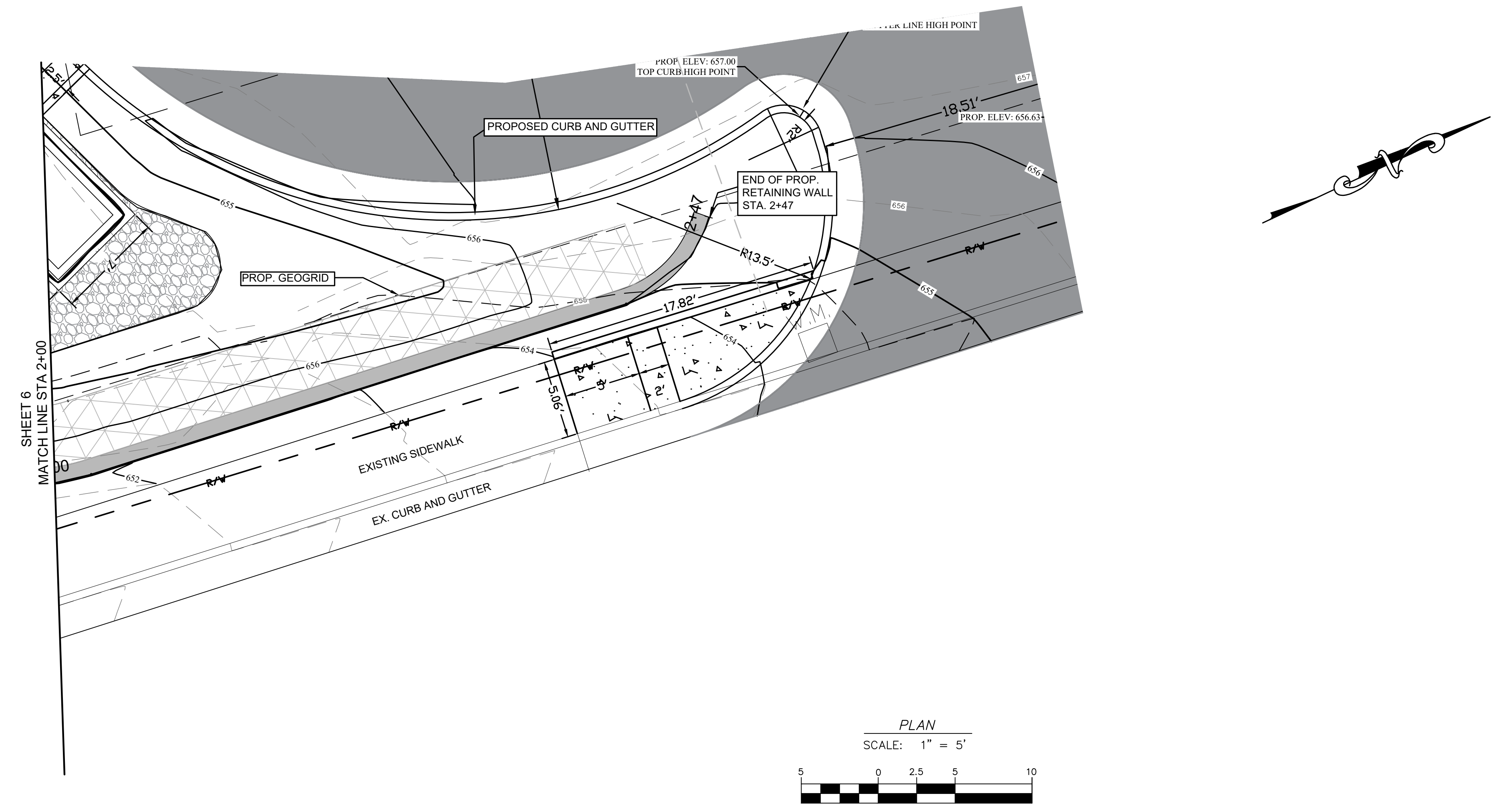
Surveyor's Seal

LOGAN REC. PARKING EXTENTION  
WALL PLAN & PROFILE  
PROJECT # : 2020-001



**PROFILE**  
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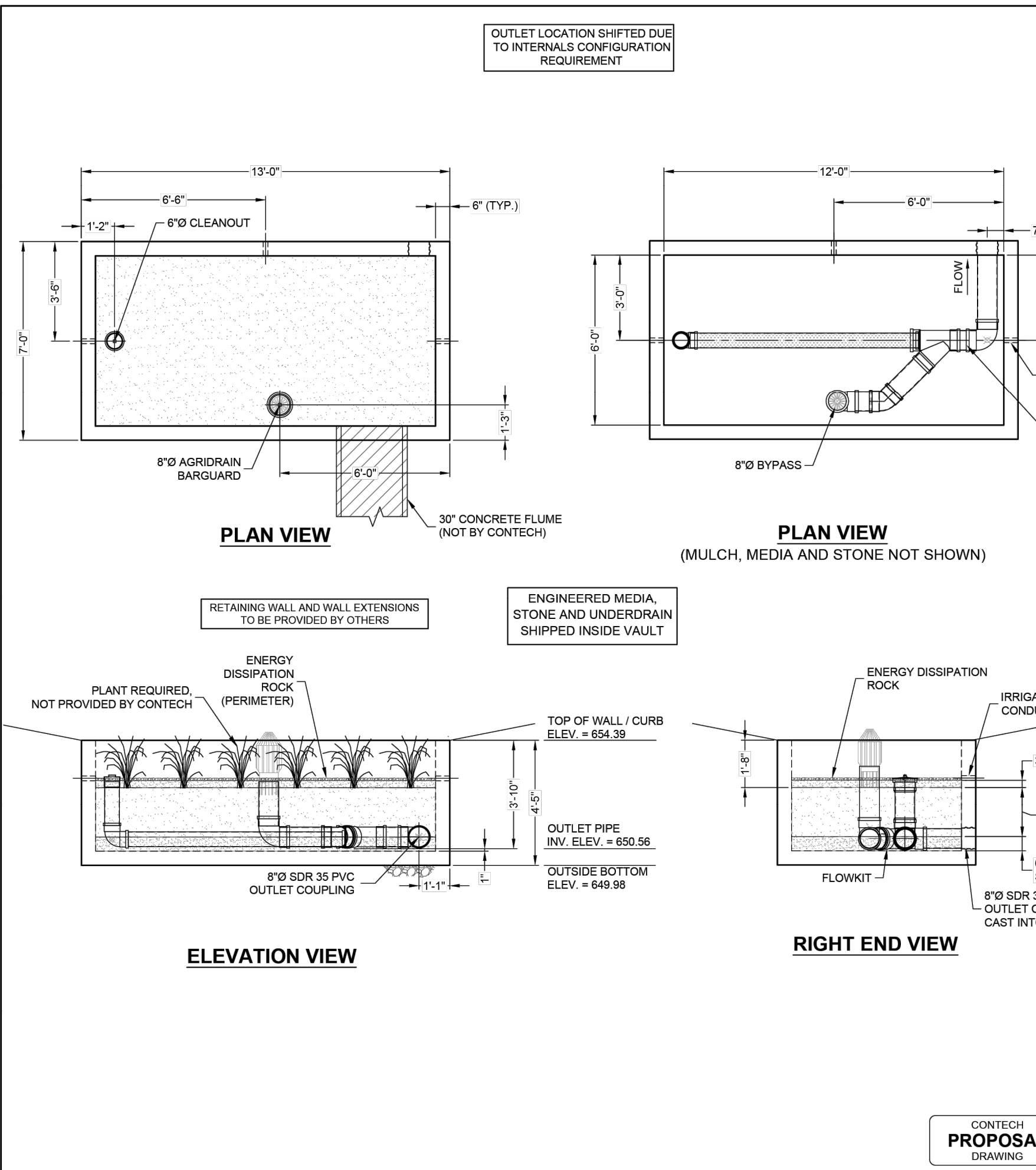
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TECHNOLOGIES HP200



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SHEET:	8
OF:	15





**MATERIALS LIST**

COUNT	DESCRIPTION	INSTALLED BY
18 CF	MULCH. SEE GENERAL NOTE 6	CONTECH
1	ENERGY DISSIPATION ROCK LAYER	CONTECH
126 CF	STANDARD FILTERRA MEDIA (6.3 T)	CONTECH
36 CF	1/2" #4 ROUND AGGREGATE UNDERDRAIN STONE (1.7 T)	CONTECH
1	FILTERRA FLOWKIT FTBSVIB1064-8-8B (LF) FK	CONTECH
3	2" PVC IRRIGATION CONDUIT	CONTECH
1	8" Ø AGRI DRAIN BAR GUARD GRATE, BLACK	CONTRACTOR

AS WITH ALL OPEN TOP BIORETENTION SYSTEMS, FILTERRA BIOSCOPE VAULT IS OPEN TO THE ATMOSPHERE WITH A MEDIA SURFACE RECESSED BELOW FINISHED GRADE. CONTRACTOR OR OWNER IS RESPONSIBLE FOR PROVIDING ANY REQUIRED SAFETY MEASURES AROUND SYSTEM PERIMETER TO MAINTAIN AESTHETICS. REMOVAL OF HEAVY STORMWATER DEBRIS MAY BE NECESSARY BETWEEN REGULAR FILTERRA SYSTEM MAINTENANCE EVENTS.

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.contechES.com](http://www.contechES.com)
  - FILTERRA WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - STRUCTURE SHALL MEET PEDESTRIAN LIVE LOAD WITH H-5 (4000 LBS.) WHEEL LOAD MOUNTING THE CURB AND ADJACENT HS-20 LIVE LOAD SURCHARGE ON THE WALLS OF THE STRUCTURE. ASSUMING EARTH COVER OF 1' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
  - FILTERRA STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C657, ASTM C918 AND ACI 318-14 LOAD FACTOR DESIGN METHOD.
  - MULCH, AND DISSIPATION ROCKS SUPPLIED BY CONTECH AND DELIVERED AT TIME OF SYSTEM ACTIVATION.
  - PLANT IS NOT PROVIDED BY CONTECH. PLANT SELECTION SHALL BE DONE BY THE ENGINEER OF RECORD IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.

- INSTALLATION NOTES**
- ANY SUB-BASE BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE FILTERRA STRUCTURE. SPREADER BAR WITH SUFFICIENT CABLE IS REQUIRED FOR SAFETY AND REDUCTION OF DAMAGE TO CONCRETE STRUCTURE. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE AND INSTALL INLET AND OUTLET PIPES, AS NEEDED. PVC COUPLING IS CAST-IN TO STRUCTURE WALL FOR OUTLET CONNECTION.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT FILTERRA MEDIA BAY FROM CONSTRUCTION-RELATED EROSION RUNOFF.
  - CONTECH IS RESPONSIBLE FOR ACTIVATION OF THE SYSTEM WHICH INCLUDES PLANTING OF THE SPECIFIED PLANT, MULCH INSTALLATION, AND PLACING OF DISSIPATION ROCK. ACTIVATION ONLY OCCURS WHEN THE SITE IS FULLY STABILIZED WITH FINAL PAVEMENT INSTALLED AND SWEEP CLEAN OF CONSTRUCTION SEDIMENT.
  - CONTACT CONTECH MAINTENANCE AND FIELD OPERATIONS AT 513-645-7770 TO SCHEDULE ACTIVATION.
  - IT IS RECOMMENDED THAT ALL FILTERRA UNITS BE WATERED BY IRRIGATION LINES OR SPRINKLER SYSTEMS ON A REGULAR BASIS. FILTERRA UNITS MAY BE EQUIPPED WITH IRRIGATION HOLES FOR NEW OR EXISTING IRRIGATION LINES UPON REQUEST.

**STRUCTURE WEIGHT**  
APPROXIMATE HEAVIEST PICK = 35,500 LBS.  
BASE SECTION SHIPPED WITH STONE AND FILTERRA MEDIA INSTALLED  
STRUCTURE DELIVERED IN 1 PIECE(S).

MAX. FOOTPRINT = 7' x 13'

DATE: 10/23/2024

DESIGNED: JAK    DRAWN: JS/DWB

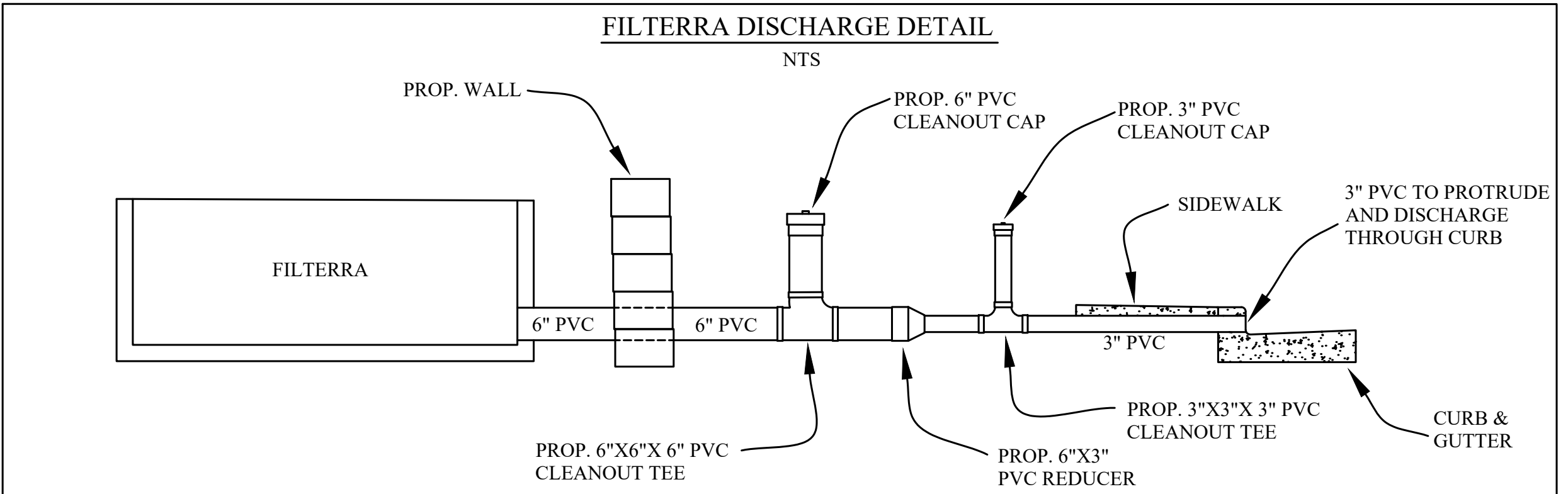
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PROJECT NO.: 797626    REFERENCE NO.: 010

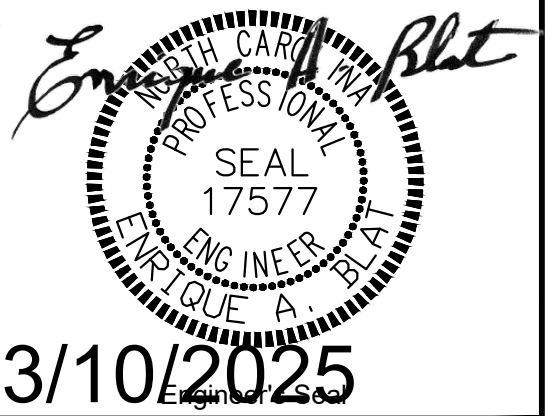
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CONTECH ENGINEERED SOLUTIONS LLC  
1050 Centre Pointe Dr., Suite 400, West Chester, OH 45380  
609.336.1122    913.645.7000    513.645.7983 FAX

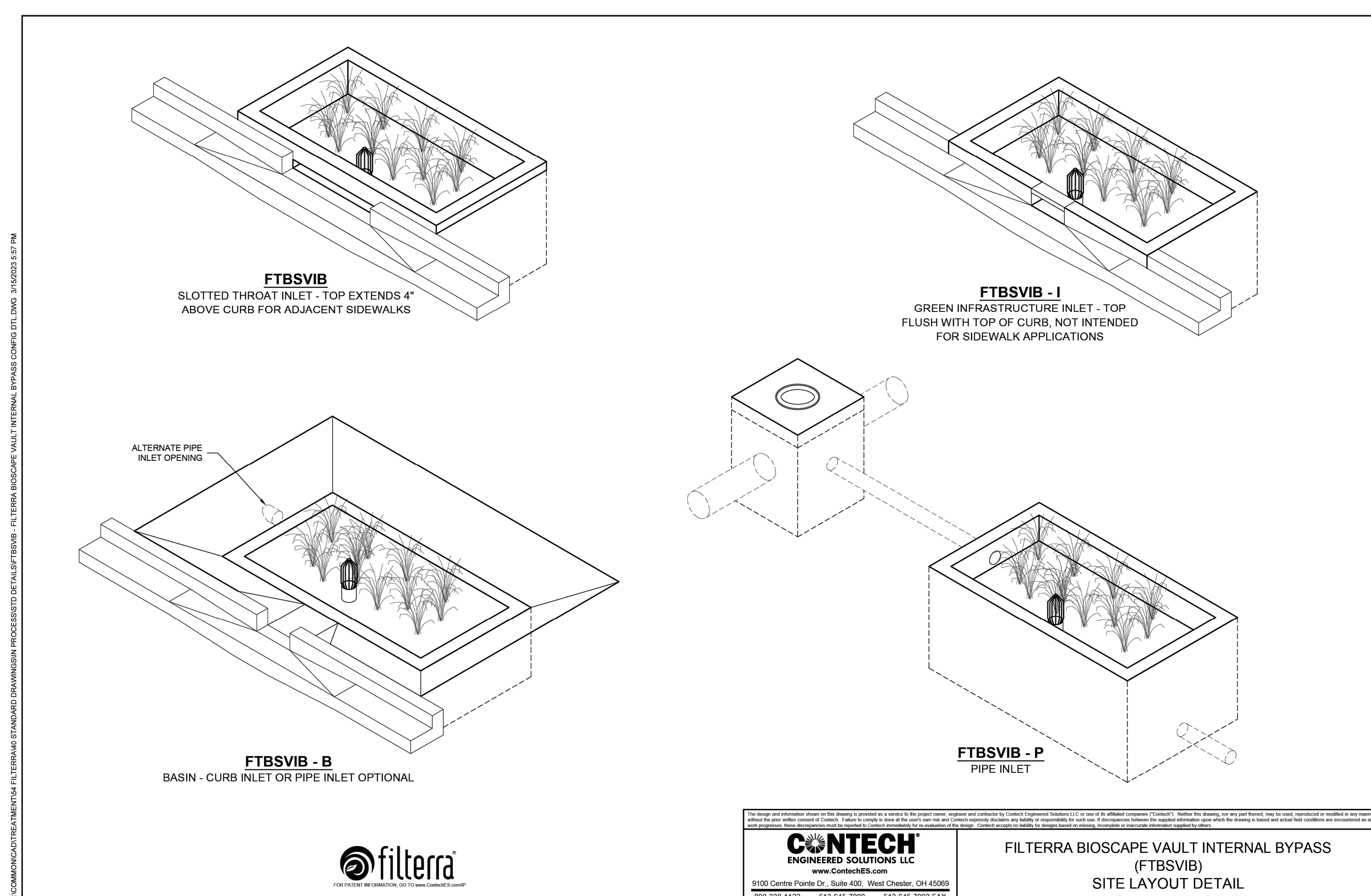
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LOGAN PARKING LOT  
CONCORD, NC  
SITE DESIGNATION: FTBSV



PREPARED BY  
ENGINEERING DEPARTMENT  
CITY OF CONCORD  
P.O. BOX 308  
CONCORD N.C. 28026  
(704) 920-5425



LOGAN REC. PARKING EXTENTION  
STANDARD FILTERRA DRAINAGE  
BASIN DETAILS  
PROJECT # : 2020-001



**CONTECH**  
ENGINEERED SOLUTIONS LLC  
[www.contechES.com](http://www.contechES.com)  
1050 Centre Pointe Dr., Suite 400, West Chester, OH 45380  
609.336.1122    913.645.7000    513.645.7983 FAX

FILTERRA BIOSCOPE VAULT INTERNAL BYPASS (FTBSVIB) SITE LAYOUT DETAIL

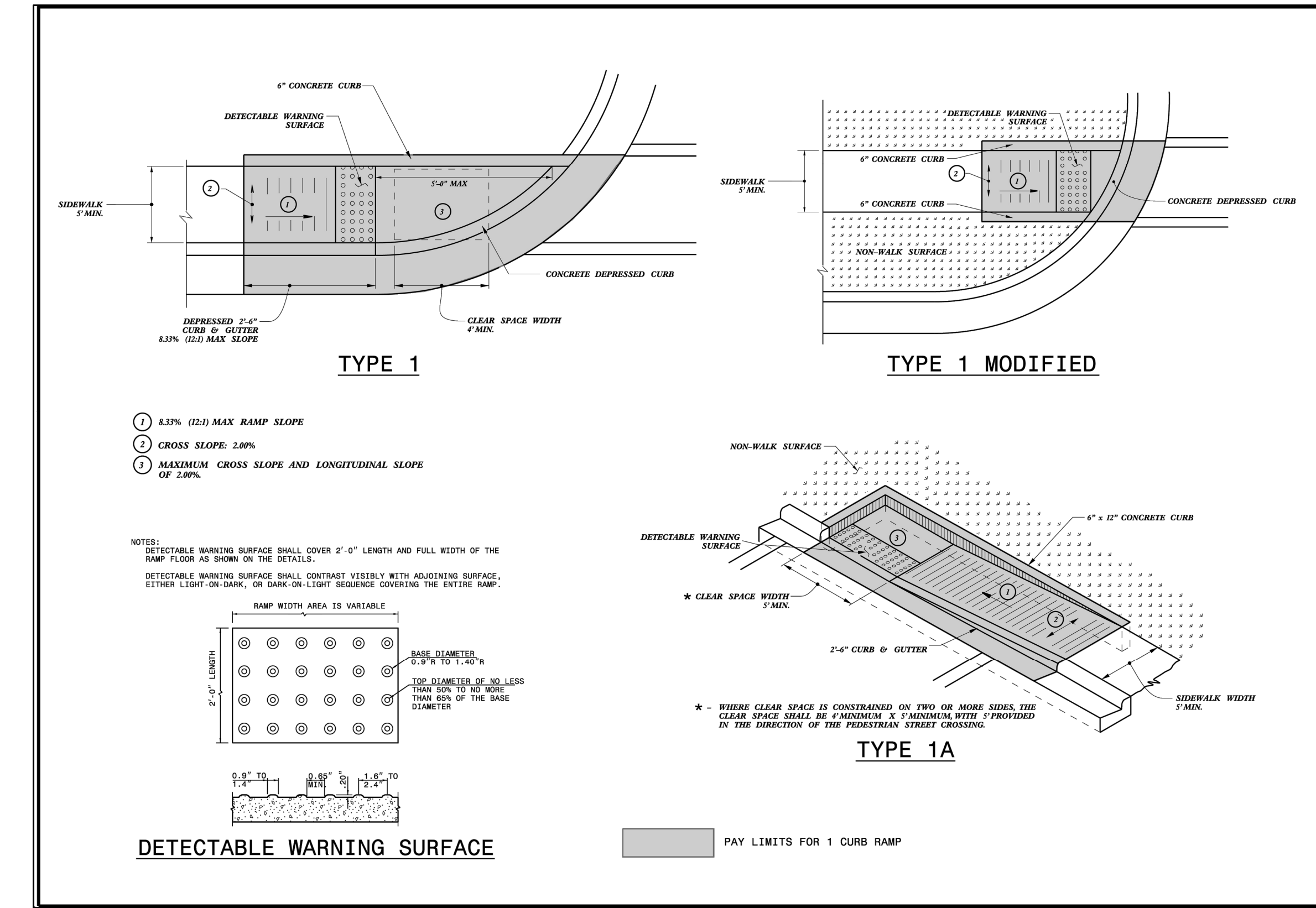
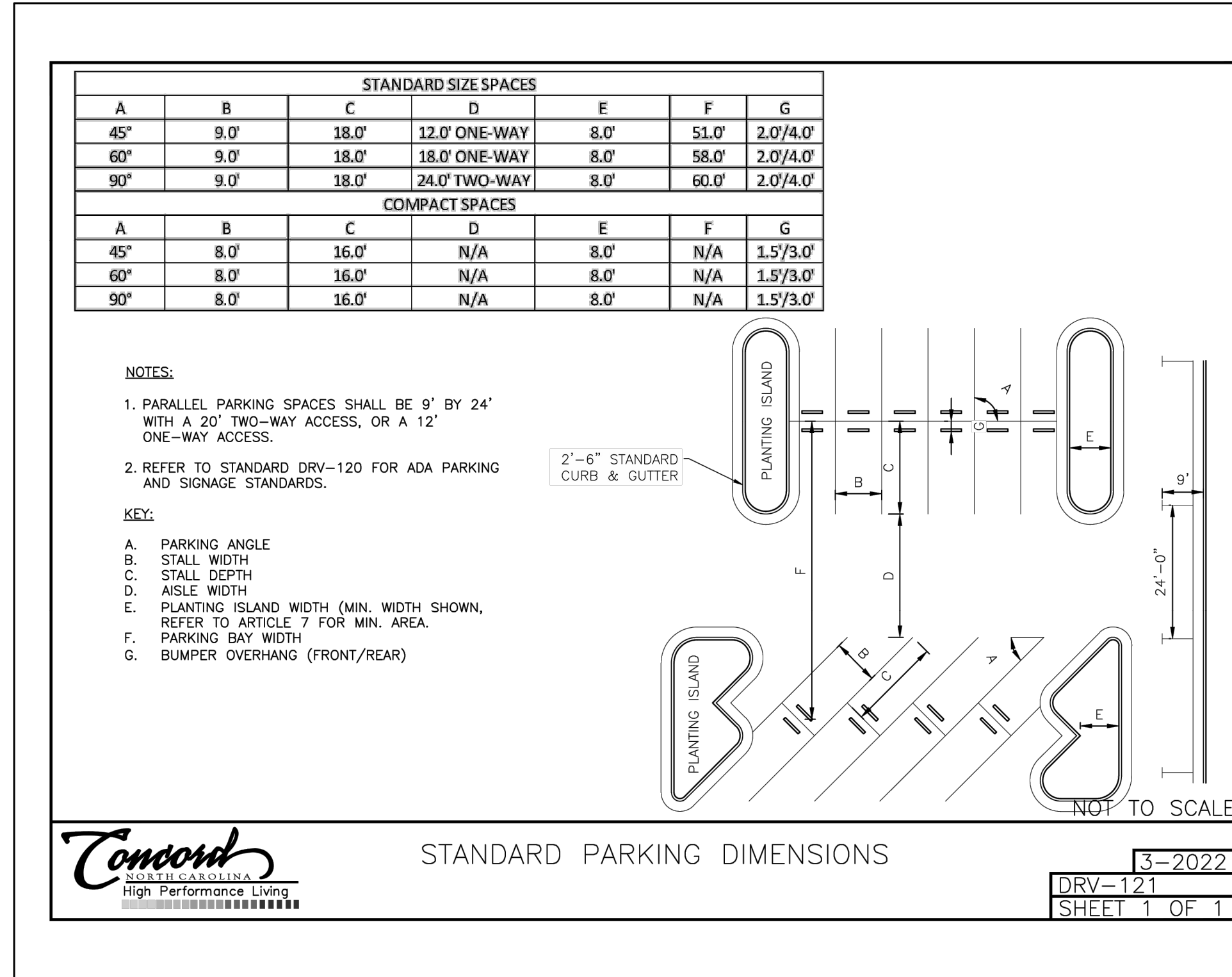
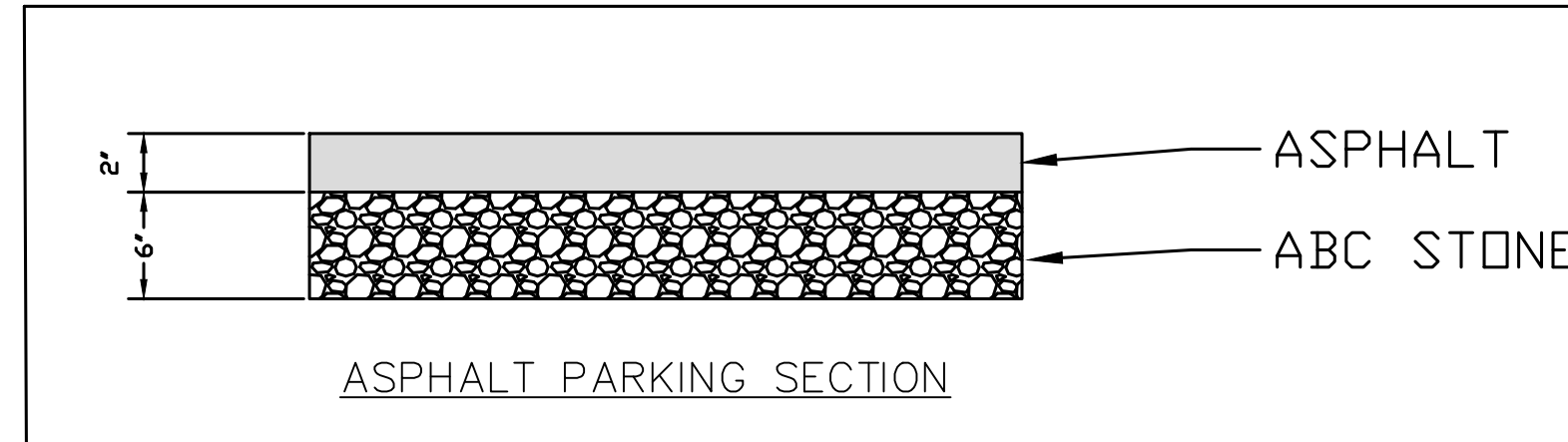
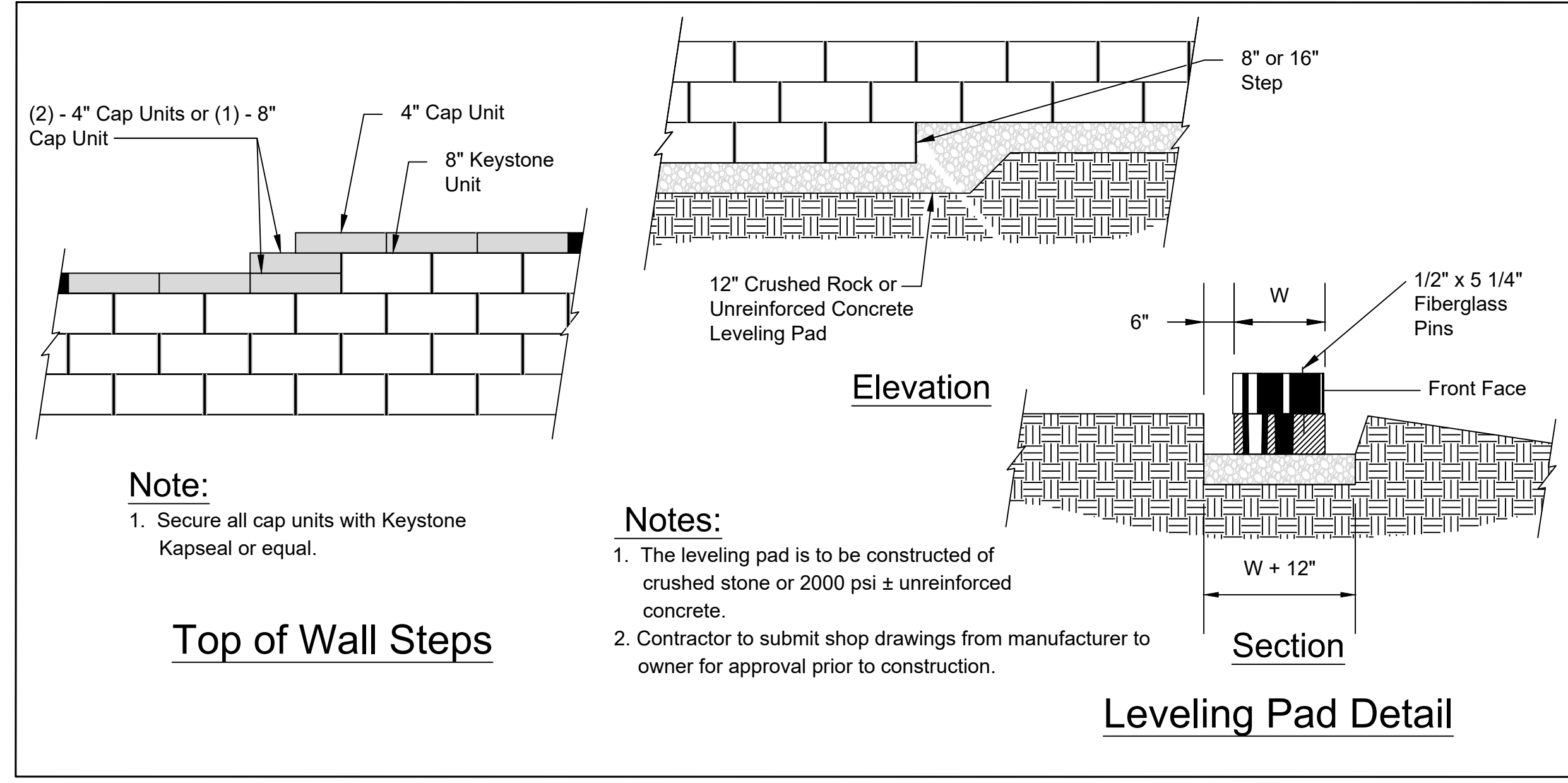
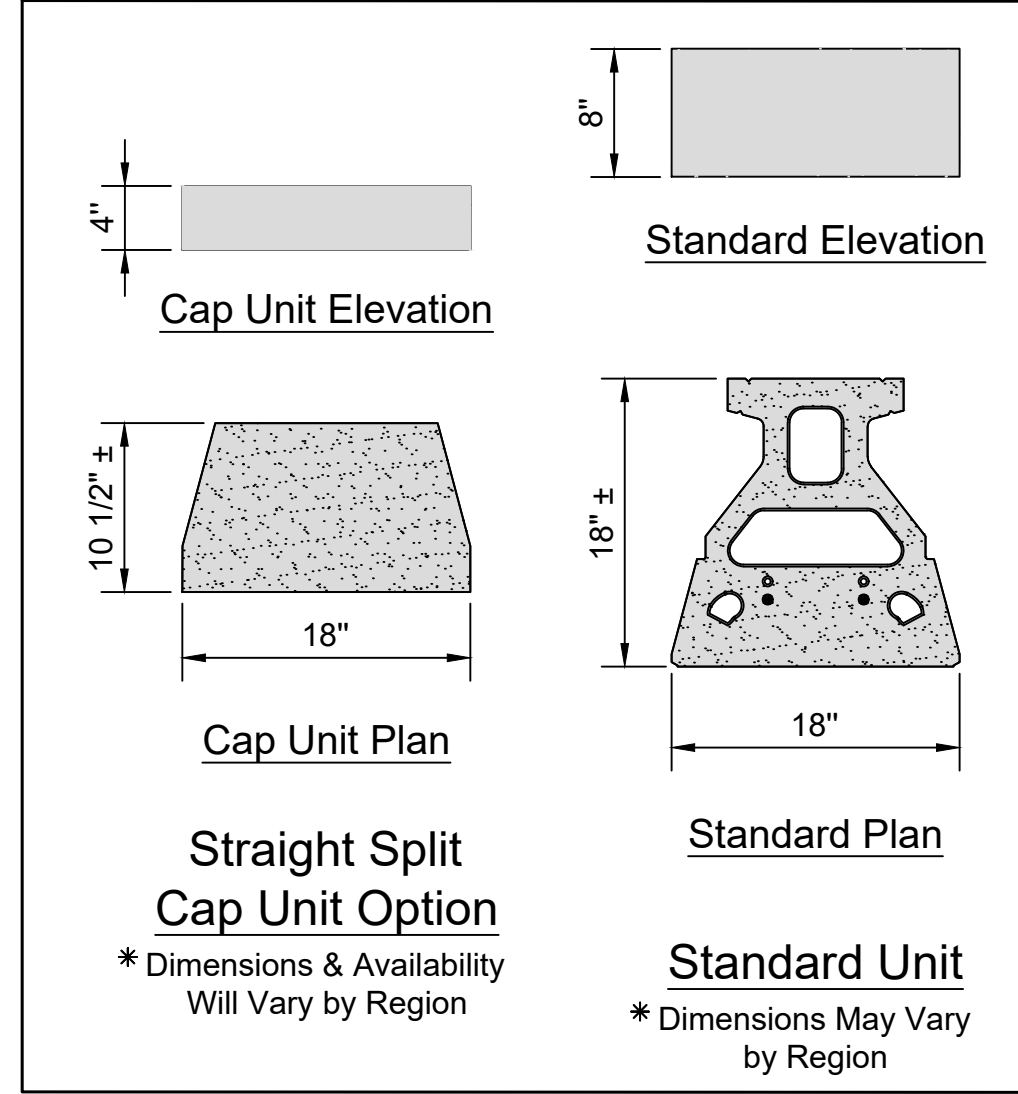
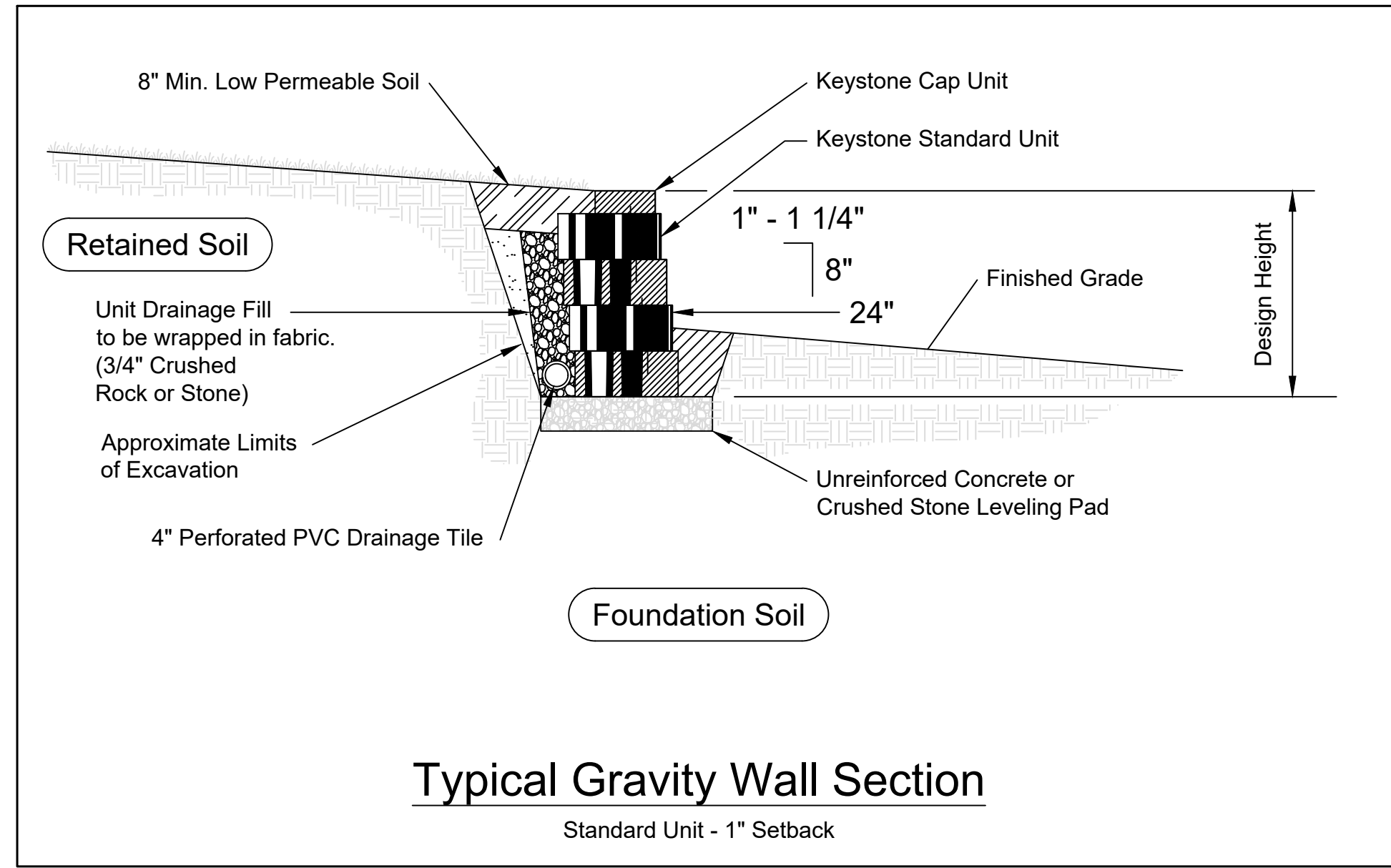
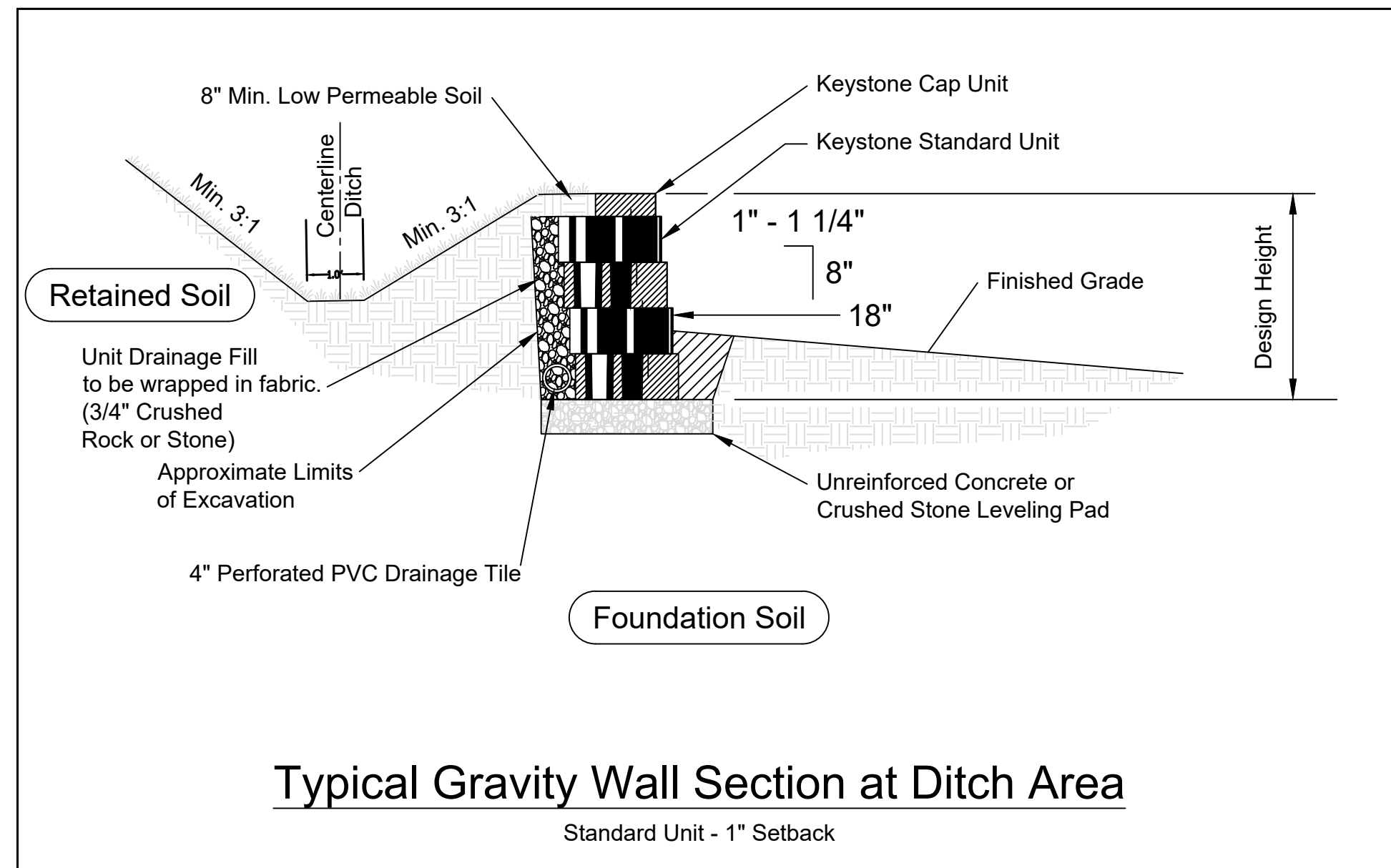
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SHEET: 9 OF 15

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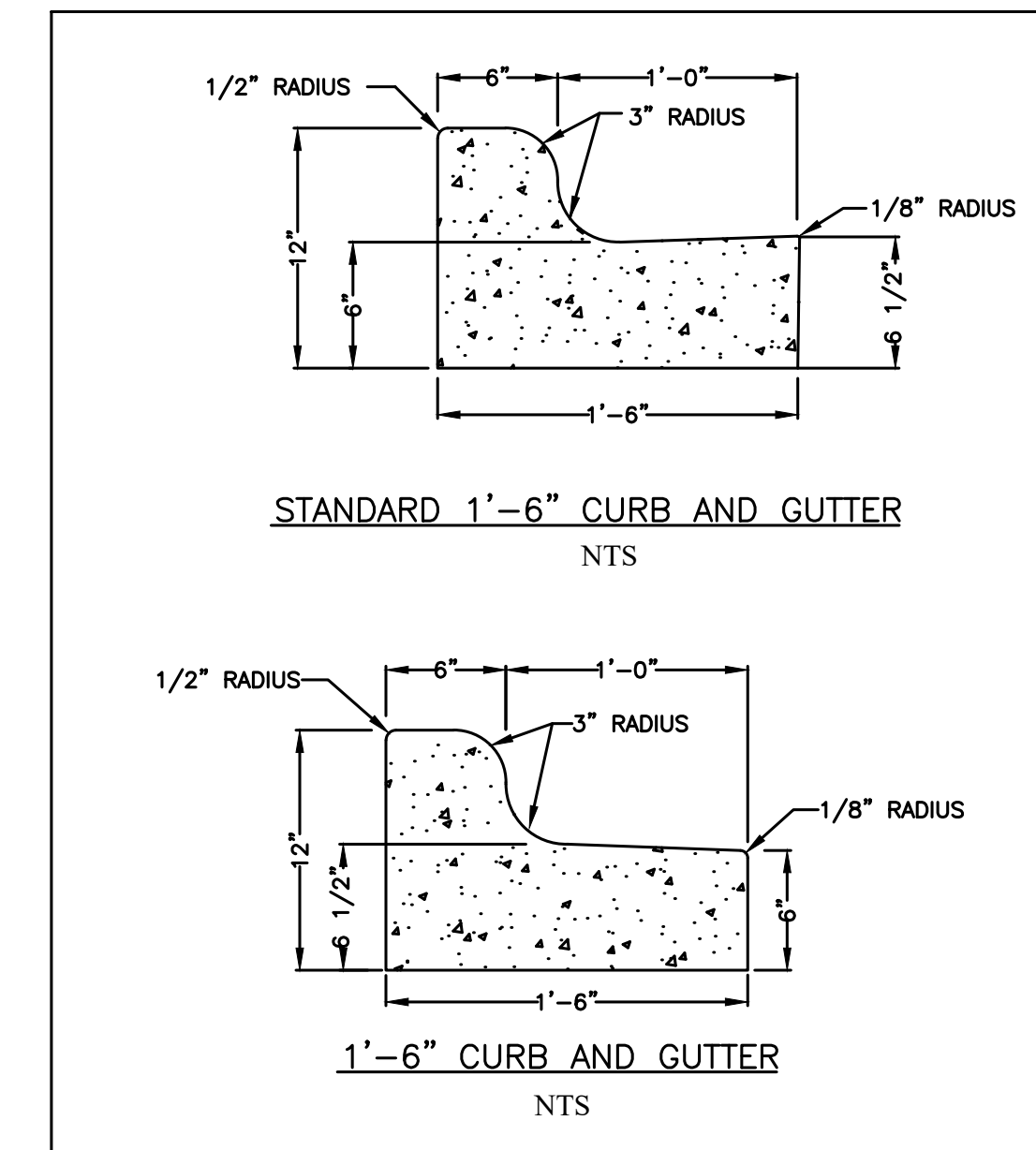
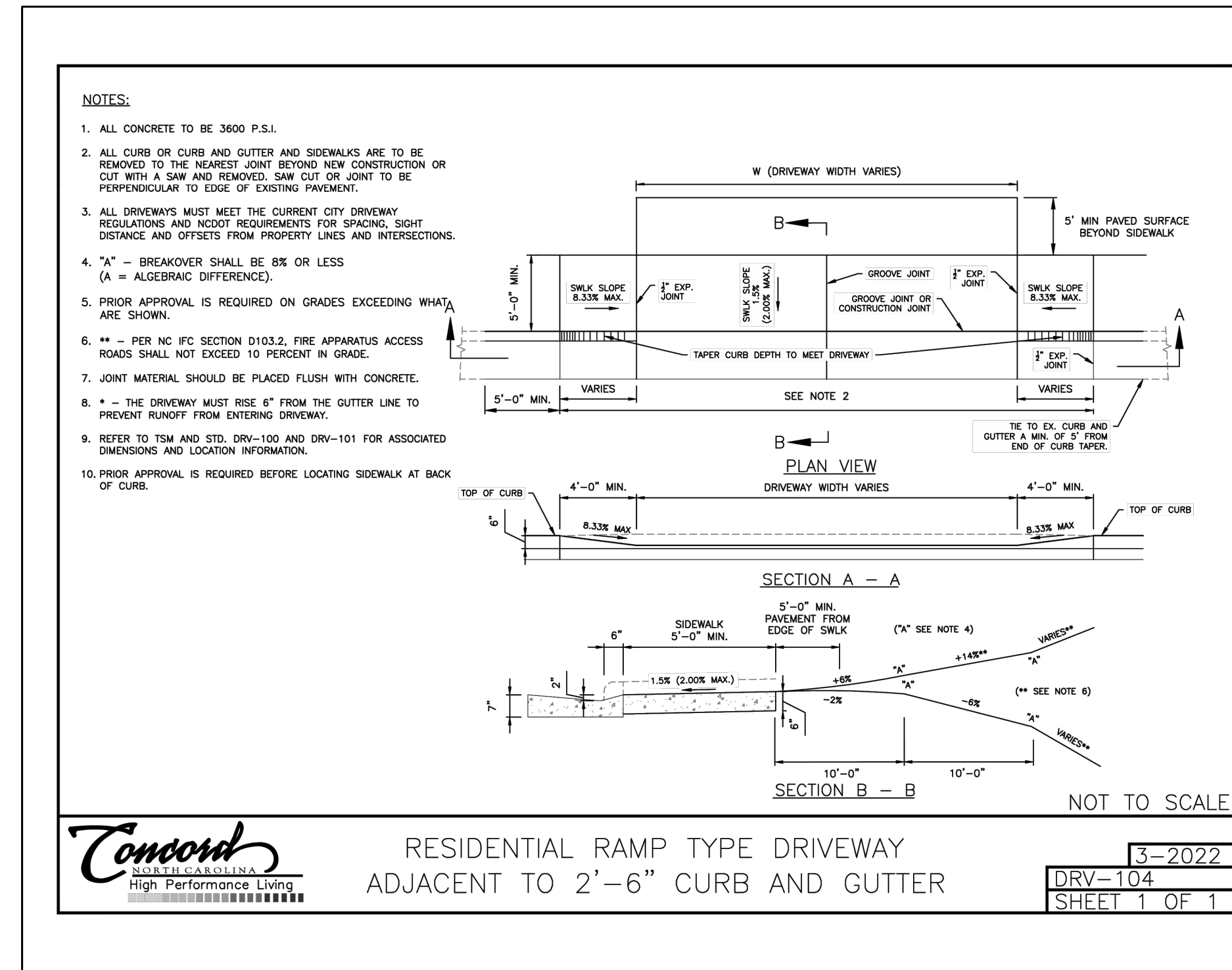


STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
DIVISION OF HIGHWAYS  
RALEIGH, N.C.

1-24

ROADWAY STANDARD DRAWING FOR CURB RAMP DIRECTIONAL RAMP

SHEET 6 OF 13  
848.06



LOGAN REC. PARKING EXTENSION  
RETAINING WALL & PAVEMENT  
STANDARD DETAILS  
PROJECT # : 2020-001

REV. #	DATE	DESCRIPTION	BY

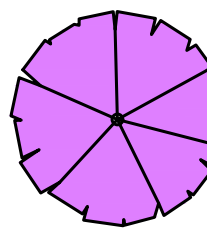
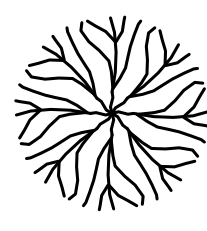
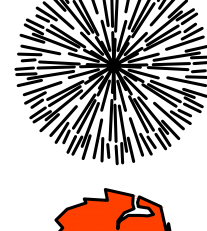
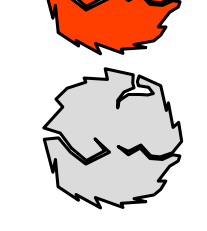
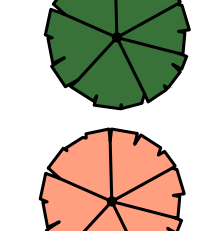
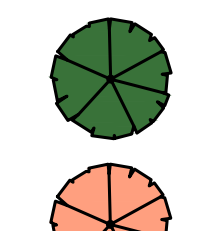
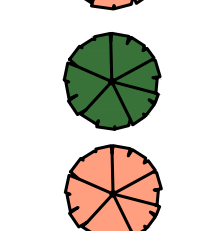
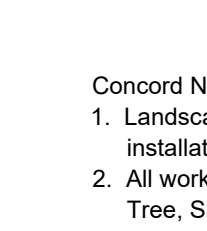
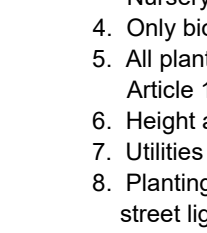
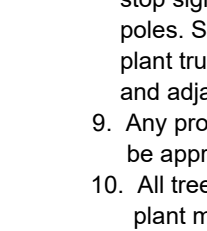
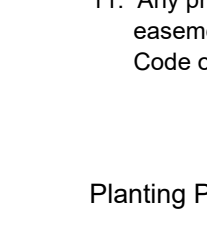
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DRAWN BY: JBC  
CHECKED BY: EAB  
SCALE: AS SHOWN  
DATE: 12/10/2024  
PROJECT NUMBER: 2020-001  
SHEET: 11 OF 15

PREPARED BY  
ENGINEERING DEPARTMENT  
CITY OF CONCORD  
P.O. BOX 308  
CONCORD N.C. 28026  
(704) 920-5425

Emory A. Blat  
PROFESSIONAL SEAL  
17577  
ENGINEER  
EMORY A. BLAT  
3/10/2025  
Engineer's Seal



PLANT LEGEND

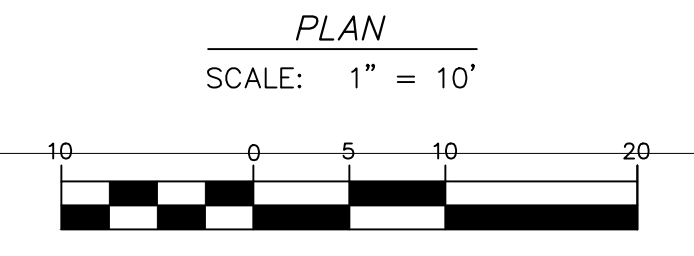
-  RED MAPLE-RM (SHADE TREE)
-  BLACK GUM-BG (SHADE TREE)
-  EASTERN RED CEDAR-ERC (SHADE TREE)
-  EASTERN REDBUD-ER (ORNAMENTAL)
-  CAROLINA SILVER BELL-CSB (ORNAMENTAL)
-  PINK SHELL AZALEA-PSA (LARGE SHRUB)
-  ROSEBAY RHODODENDRON-RR (LARGE SHRUB)
-  PINK SHELL AZALEA-PSA (MEDIUM SHRUB)
-  ROSEBAY RHODODENDRON-RR (MEDIUM SHRUB)
-  PINK SHELL AZALEA-PSA (SMALL SHRUB)
-  ROSEBAY RHODODENDRON-RR (SMALL SHRUB)

Concord NC Landscape Notes

1. Landscape contractor shall coordinate an on-site meeting with the City Arborist before installation of any plant material.
2. All work shall be in accordance with the current edition of the ANSI A300 Standard for Tree, Shrub, and other Woody Plant Management-Standard Practices.
3. All plant stock shall comply with the current edition of ANSI Z60.1 American Standard for Nursery Stock.
4. Only biodegradable tree support materials shall be used.
5. All planting areas shall meet the requirements of the Concord Development Ordinance Article 11 and Technical Standards Article 7.
6. Height and width of plant material supersedes container size.
7. Utilities shall be located before planting. [www.nc811.org](http://www.nc811.org)
8. Planting locations will be adjusted to provide sufficient space for utilities, easements, street lighting, traffic signs, and sight triangles. 5' clearance around all sides of fire hydrants and utility appurtenances. No trees shall be planted within 75' of a residential stop sign. No plants or trees located within site triangles. 15' clearance from all street light poles. Shade trees shall be at least 20' from overhead primary electric lines. All tree and plant trunks shall be installed at least 4' from buildings, curbs, sidewalks, asphalt, fences and adjacent property lines.
9. Any proposed redesign of the approved planting plan or plant species substitutions shall be approved by the City Arborist before installation.
10. All trees and their planted location shall be inspected by City staff before approval. Any plant material which has died, turned brown, or defoliated prior to inspection shall be rejected.
11. Any proposed private irrigation may bisect but shall not run parallel within utility easements or street right of ways and shall meet the requirements of the City of Concord Code of Ordinance Chapter 62, section 62-164.

Planting Plan Notes

1. The contractor shall locate and verify the existence of all utilities prior to starting work.
2. The contractor shall supply all plant materials in quantities sufficient to complete the planting shown on all drawings.
3. All plant material shall conform to American Association of Nurserymen's (American Standard for Nursery Stock) and shall be warranted for replacement for a period of on (1) calendar year after completion and acceptance of the landscape installation by the client or representative thereof.
4. No plant shall be put into the ground before rough grading has been finished and approved by the project manager or equal.
5. All plants shall bear the same relationship to finished grade as the plant's original grade before digging.
6. All plants shall be balled and wrapped or container grown as specified. No container grown stock will be accepted if it is root bound. All root wrapping material made of synthetics or plastics shall be removed at time of planting.
7. With container grown stock, the container shall be removed and the container ball shall be cut through the surface in two vertical locations.
8. The day prior to planting, the location of all trees and shrubs shall be staked for approval by the project manager or equal.
9. All plant material shall be selected at the nurseries by the project manager or equal.
10. All plants shall be installed as per details and the contract specifications.
11. All plants and stakes shall be set plumb unless otherwise specified.
12. The landscape contractor shall provide fill as per the contract specifications.
13. The landscape contractor shall refer to the contract specifications for additional requirements.
14. The landscape contractor shall refer to the plant list for seasonal requirements related to the time of planting.
15. All planted areas shall be mulched. All other non-paved surfaces shall be seeded and strawed.



**TOTAL PARKING AREA= 11,500 SF**  
**REQUIRED PARKING LOT YARD PLANTING AREA= 10% OF 11,500 SF= 1,150 SF**  
**TOTAL PARKING LOT PLANTING AREA PROVIDED= 6,000 SF**

**YARD BUFFER CALCULATION**  
 TOTAL AREA = 2,713 SF  
 LENGTH: 175 FT. X 0.7 = 123 POINTS

**YARD BUFFER PLANTING PROVIDED**

6 SHADE TREES @ 12 POINTS EACH	= 72 POINTS
4 ORNAMENTAL TREES @ 6 POINTS EACH	= 24 POINTS
10 LARGE SHRUBS @ 3 POINTS EACH	= 30 POINTS
<b>TOTAL</b>	<b>= 126 POINTS</b>

**BOOKER DRIVE SW**  
**STREET YARD BUFFER CALCULATION**  
 LENGTH: 175 FT. X 0.2 = 35 POINTS

**STREET YARD BUFFER PLANTING PROVIDED**

4 ORNAMENTAL TREES @ 6 POINTS EACH	= 24 POINTS
4 MEDIUM SHRUBS @ 2 POINTS EACH	= 8 POINTS
3 SMALL SHRUBS @ 1 POINT EACH	= 3 POINTS
<b>TOTAL</b>	<b>= 35 POINTS</b>

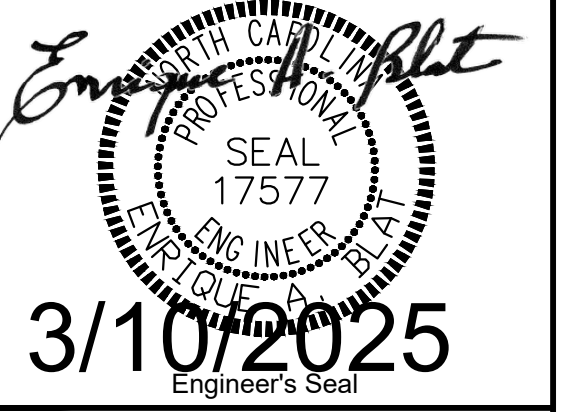
**LINCOLN STREET**  
**STREET YARD BUFFER CALCULATION**  
 LENGTH: 115 FT. X 0.2 = 23 POINTS

**STREET YARD BUFFER PLANTING PROVIDED**

3 ORNAMENTAL TREES @ 6 POINTS EACH	= 18 POINTS
5 SMALL SHRUBS @ 1 POINT EACH	= 5 POINTS
<b>TOTAL</b>	<b>= 23 POINTS</b>



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Surveyor's Seal

**LOGAN REC. PARKING EXTENSION  
 PLANTING PLAN  
 PROJECT # : 2020-001**

REV. #	DATE	DESCRIPTION	BY

DESIGNED BY: EAB  
 DRAWN BY: JBC  
 CHECKED BY: EAB  
 SCALE: AS SHOWN  
 DATE: 12/10/2024  
 PROJECT NUMBER: 2020-001  
 SHEET: 13 OF: 15

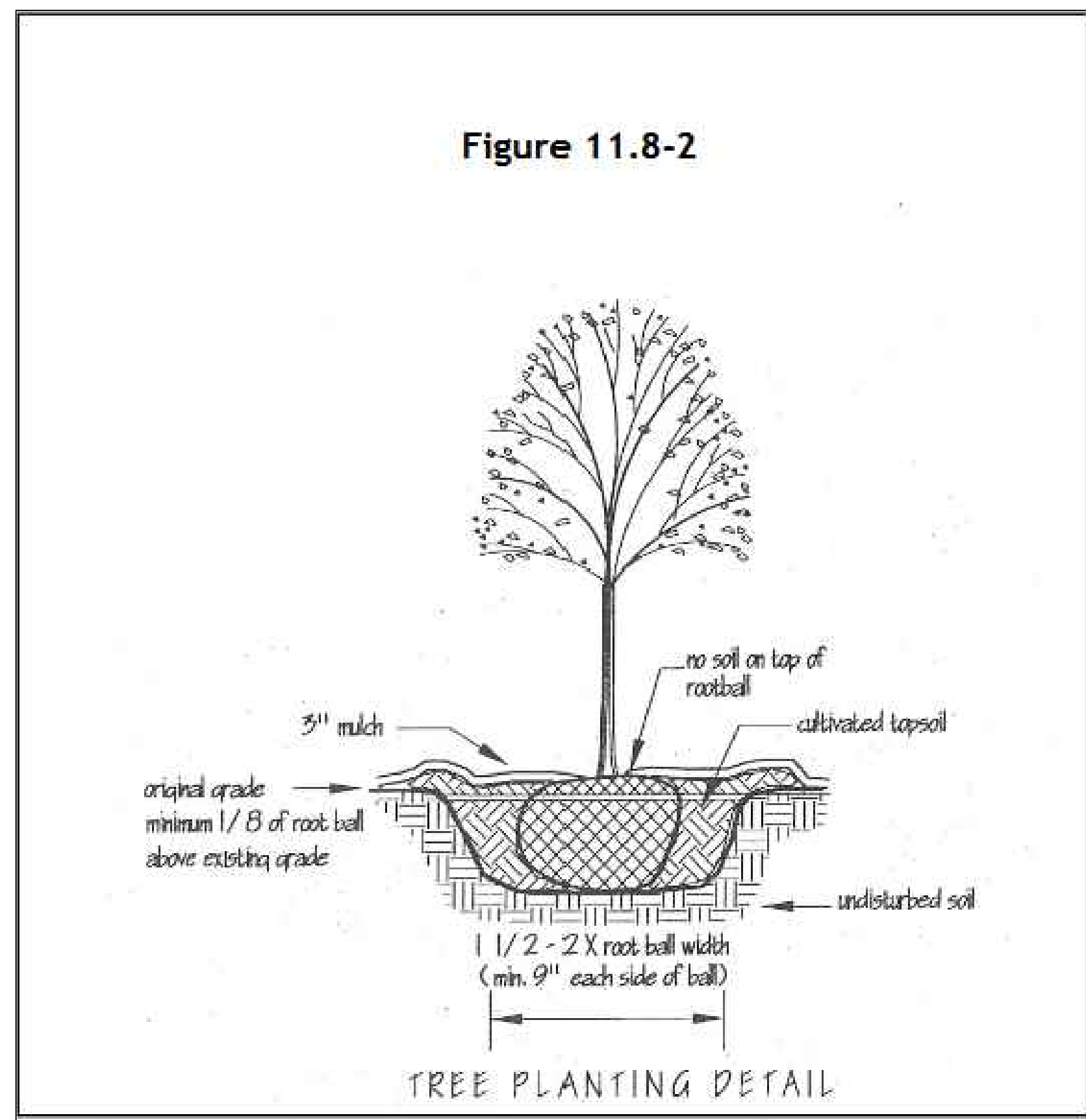
3/10/2025

Surveyor's Seal

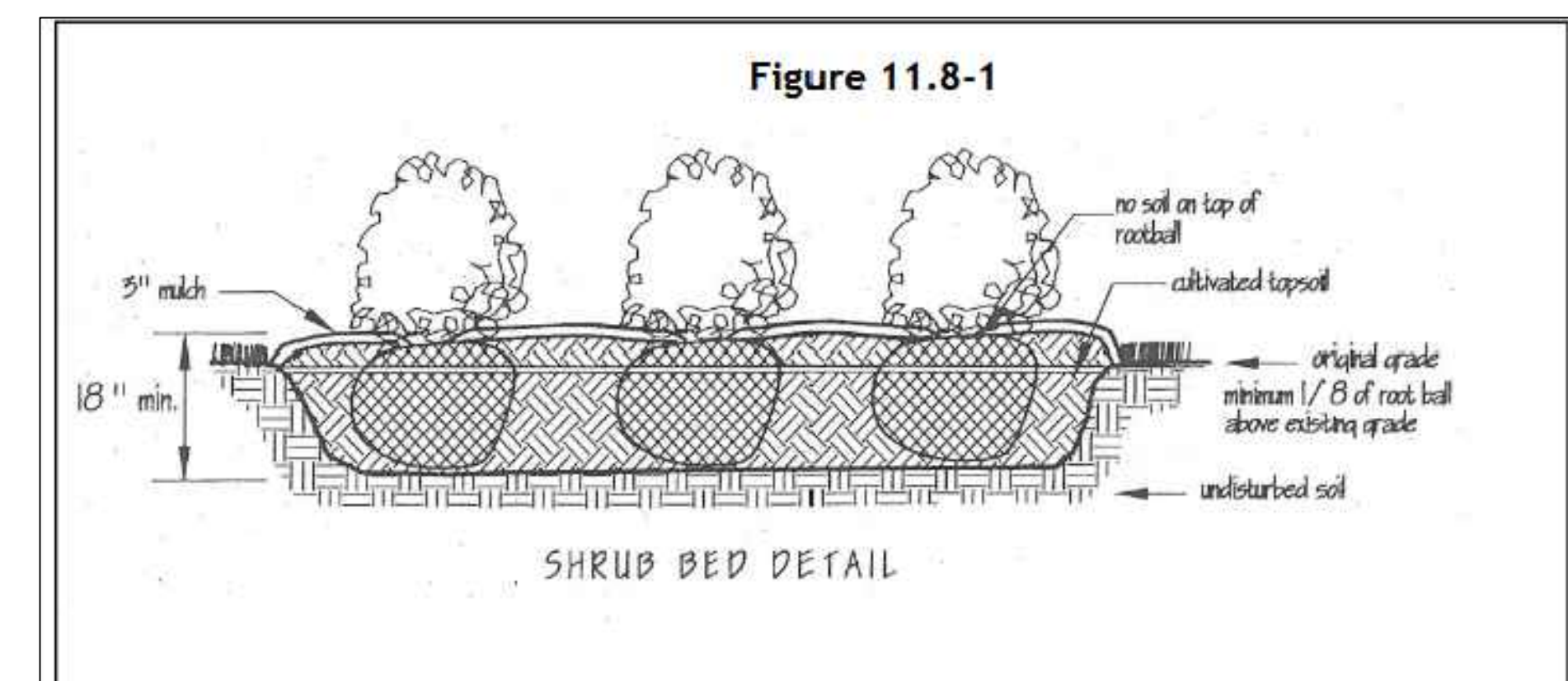
LOGAN REC. PARKING EXTENSION  
PLANTING PLAN  
PROJECT # : 2020-001

Buffer Yard					
	Number	Points	Total	Caliper (Inches)	Height (Feet)
<b>Shade Tree</b>					
Red maple	2	12	24	2.5	10
Black gum	2	12	24	2.5	10
Eastern Red Cedar	2	12	24	2.5	10
<b>Ornamental</b>					
Eastern Redbud	2	6	12	1.5	8
Carolina Silverbell	2	6	12	1.5	8
<b>Shrubs (Large)</b>					
Pink shell Azalea	5	3	15	N/A	3
Rosebay	5	3	15	N/A	3
Rhododendron					
		Total	126		
Street Yard Booker					
	Number	Points	Total		
<b>Ornamental</b>					
Eastern Redbud	2	6	12	1.5	8
Carolina Silverbell	2	6	12	1.5	8
<b>Shrubs Medium</b>					
Pink shell Azalea	2	2	4	N/A	3
Rosebay	2	2	4	N/A	3
Rhododendron					
<b>Shrubs Small</b>					
Pink Shell Azalea	3	1	3	N/A	1.5
		Total	35		
Street Yard Lincoln					
	Number	Points	Total		
<b>Ornamental</b>					
Eastern Redbud	1	6	6	1.5	8
Carolina Silverbell	2	6	12	1.5	8
<b>Shrubs Small</b>					
Pink shell Azalea	3	1	3		
Rosebay	2	1	2		
Rhododendron					
		Total	23		

**Figure 11.8-2**



**Figure 11.8-1**



REV. #	DATE	DESCRIPTION	BY

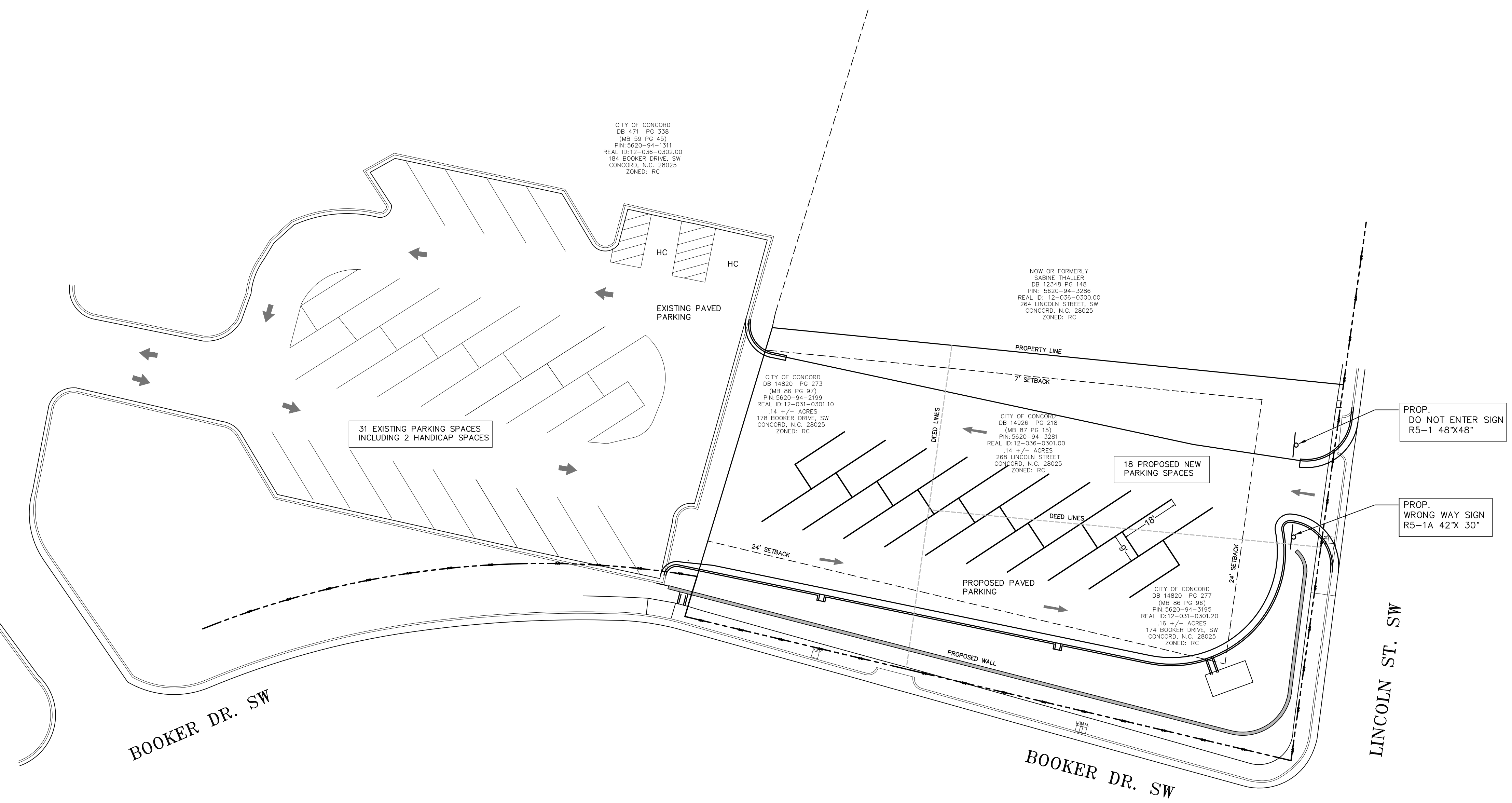
DESIGNED BY: EAB  
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 PROJECT NUMBER: 2020-001  
 SHEET: 14 OF: 15



3/10/2025

Surveyor's Seal

**LOGAN REC. PARKING EXTENTION  
OVERALL PARKING  
PROJECT # : 2020-001**



1. THE TOTAL NUMBER OF EXISTING PARKING SPACES AT 184 BOOKER (LOGAN COMMUNITY CENTER) IS 31 INCLUDING TWO ADA SPACES.
2. THE TOTAL NUMBER OF PARKING SPACES ADDED AT 174 BOOKER IS 18 (TO SERVE THE LOGAN COMMUNITY CENTER).
3. THE TOTAL NUMBER OF PARKING SPACES FOR THE COMBINED PARKING LOT IS 49 WITH 2 ADA SPACES PROVIDED.
4. THE NUMBER OF ADA PARKING SPACES REQUIRED IS 2.
5. THE PROPOSED USE IS FOR ACCESSORY PARKING FOR THE LOGAN RECREATION CENTER.

<b>SETBACKS:</b> FRONT YARD = 24 FT. STREET = 24 FT. SIDE = 7 FT. REAR = 5 FT.	<b>IMPERVIOUS:</b> PROPOSED IMPERVIOUS = APPROX. 60% - (11,724 SQ. FT.) FOR ACCESSORY USE TO LOGAN COMMUNITY CENTER	<b>AREA'S</b> 178 BOOKER DRIVE SW - 5,924 SQ. FT. - .14 ACRES IMPERVIOUS AREA - 4,259 SQ FT. - .10 ACRES 174 BOOKER DRIVE SW - 6,886 SQ. FT. - .16 ACRES IMPERVIOUS AREA - 3,919 SQ FT. - .09 ACRES 268 LINCOLN STREET - 6,034 SQ. FT. - .14 ACRES IMPERVIOUS AREA - 3,549 SQ FT. - .08 ACRES TOTAL = 18,844 SQ. FT. - .44 ACRES TOTAL IMPERVIOUS = 11,727 SQ. FT. - .27 ACRES
<b>ACCESSORY STRUCTURES:</b> SIDE = 7 FT. REAR = 5 FT.	<b>PLAN</b> SCALE: 1" = 20' 	

REV. #	DATE	DESCRIPTION	BY

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