CONSTRUCTION SEQUENCE

1. CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS HAVE BEEN RECEIVED AND THAT THOSE REQUIRED TO BE DISPLAYED ON—SITE ARE AVAILABLE.

2. CONTRACTOR SHALL HOLD PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS BEFORE THE ACTUAL

3. CONTRACTOR SHALL CONTACT CAROLINA ONE CALL AND ALL ENTITIES HAVING BURIED UTILITIES AT LEAST 72 HOURS PRIOR TO DIGGING OR AS DIRECTED AT THE PRE—CONSTRUCTION MEETING.

4. CONTRACTOR SHALL MAINTAIN TRAFFIC AND SAFETY CONTROL MEASURES AT ALL TIMES ON THE PROJECT. (SEE

5. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES (IF ANY) AT EACH POINT OF ACCESS TO STORAGE AND CONSTRUCTION AREAS.

6. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH PLANS AND BEFORE STARTING WORK.

7. CONTRACTOR SHALL CLEAR RIGHT-OF-WAY IF NECESSARY.

8. STOCKPILE RIP-RAP ON SITE AND INSTALL ALL OTHER EROSION CONTROL MEASURES WHERE THE WORK IS OCCURRING. THE CONTRACTOR SHALL NOT INSTALL EROSION CONTROL MEASURES IN AREAS WHERE THE WORK WILL NOT OCCUR FOR SOME TIME. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY/PROJECT ENGINEER OR UPON RECOMMENDATION OF NC DEQ PERSONNEL AS CONDITIONS WARRANT.

9. STABILIZATION FOR THIS PROJECT SHALL COMPLY WITH THE TIME FRAME GUIDELINES AS SPECIFIED BY THE NCG-010000 GENERAL CONSTRUCTION PERMIT EFFECTIVE AUGUST 3, 2011 ISSUED BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES DIVISION OF WATER QUALITY.

10. CONTRACTOR SHALL COORDINATE ALL BLOW-OFFS AND TESTING WITH THE CITY ENGINEERING DEPARTMENT'S CONSTRUCTION ADMINISTRATOR AT LEAST 24 HOURS IN ADVANCE OF SUCH WORK. NOTIFY THE RESPONSE AREA FIRE DEPARTMENT IF EXISTING SYSTEM VALVES NEED TO BE SHUT OFF IN THE COURSE OF THE WORK.

11. UPON COMPLETION OF THE INSTALLATION AND WITH APPROVAL OF NC DEQ-DLR, ALL EROSION CONTROL DEVICES EXCEPT FOR CREEK/STREAM BANK STABILIZATION SHALL BE REMOVED AND DISPOSED OF IN AN ACCEPTABLE MANNER. EACH SECTION SHALL BE SEEDED AT EARLIEST POSSIBLE DATE AFTER INSTALLATION OF PIPE, STRUCTURE, OR ACCESS.

12. ONCE GROUND COVER IS FIRMLY ESTABLISHED, ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WITH THE APPROVAL OF NC DEQ-DLR.

13. CONTRACTOR SHALL REFERENCE SPECIAL CONDITIONS FOR JOB SEQUENCE AND OTHER DIRECTIONS, IF ANY. CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITY WITH THE CITY ENGINEERING DEPARTMENT.

GENERAL NOTES

1. ALL MATERIALS, EQUIPMENT, LABOR, AND WORKMANSHIP IS TO BE IN ACCORDANCE WITH AND SUBJECT TO THE WATER AND SEWER AUTHORITY OF CABARRUS COUNTY'S STANDARD SPECIFICATIONS; THE CITY OF CONCORD'S ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, AND NCDOT STANDARD SPECIFICATIONS, AND THE NORTH CAROLINA ADMINISTRATIVE CODE FOR WASTEWATER COLLECTION AND WATER DISTRIBUTION SYSTEMS. IN THE EVENT OF CONFLICT BETWEEN THE WATER AND SEWER AUTHORITY OF CABARRUS COUNTY'S STANDARD SPECIFICATION; THE CITY OF CONCORD'S ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, AND NCDOT STANDARD SPECIFICATIONS, OR THE NORTH CAROLINA ADMINISTRATIVE CODE, THE MORE RESTRICTIVE REQUIREMENTS SHALL APPLY.

2. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE LATEST STANDARDS OF THE N.C. SEDIMENTATION POLLUTION CONTROL ACT AND APPLICABLE LOCAL AND FEDERAL REQUIREMENTS.

3. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION ADMINISTRATOR OF THE CITY OF CONCORD ENGINEERING DEPARTMENT AT LEAST 48 HOURS IN ADVANCE OF BEGINNING WORK.

4. INDIVIDUAL WATER, GAS, SEWER, TELEPHONE, AND CABLE SERVICES MAY OR MAY NOT BE SHOWN ON THE PLANS. CONTRACTOR TO CONTACT APPROPRIATE AGENCY FOR FIELD LOCATIONS.

5. CITY OF CONCORD ELECTRIC, WATER, AND SEWER DEPARTMENT PERSONNEL WILL ASSIST THE CONTRACTOR IN LOCATING ALL CITY OF CONCORD UTILITY SERVICES AND LINES.

6. IF MAILBOX PULL—OFF AREAS ARE DISTURBED, CRUSHED STONE STABILIZER SHALL BE PLACED WITH SUFFICIENT LENGTH TO ACCOMMODATE VEHICULAR TRAFFIC. THESE AREAS SHALL BE MAINTAINED FOR THE ONE—YEAR WARRANTY PERIOD. THE COST OF THESE ITEMS SHALL BE INCLUDED IN THE COST OF LAYING PIPE AND OR REPLACING CULVERTS.

7. THIS PROJECT IS NOT SUBJECT TO 100 YEAR FLOOD PER FIRM MAP 371056200K, NOVEMBER 16, 2018.

8. FIRE HYDRANT EXTENSIONS, IF NEEDED, SHALL BE INCLUDED IN THE COST OF THE HYDRANT INSTALLATION.

9. GATE OR BUTTERFLY VALVES, BLOW-OFFS, AND FIRE HYDRANTS MAY BE FIELD ADJUSTED 50 FEET IN EITHER DIRECTION WITH THE PERMISSION OF THE ENGINEERING AND WATER RESOURCES DEPARTMENTS.

RIGHT-OF-WAY NOTES

1. RIGHT-OF-WAY LINES AND PROPERTY LINES ARE SHOWN ON THE DESIGN DRAWINGS AND ARE FOR REFERENCE ONLY. FOR EXACT LOCATIONS REFER TO THE SURVEY PLATS BY THE CITY OF CONCORD'S CONSULTING REGISTERED LAND SURVEYOR OR BY THE CITY SURVEYOR.

2. REFER TO STANDARDS AND SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION FOR FURTHER DETAILS CONCERNING THE RIGHT-OF-WAY.

TRAFFIC CONTROL

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES FOR WORK ZONE TRAFFIC SAFETY AND CONTROL.
- 2. ALL WORK ZONE TRAFFIC CONTROL DEVICES AND OPERATIONS USED ON STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE, UTILITY OR INCIDENT MANAGEMENT SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS IN THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD).
- 3. ALL TRAFFIC/SAFETY CONTROL DEVICES SHALL BE IN GOOD REPAIR AND SHALL BE POSITIONED AT ALL TIMES IN THE APPROPRIATE LOCATIONS FOR THE WORK OPERATION. THE CONTRACTOR SHALL CAREFULLY MONITOR SITE CONDITIONS SUCH AS LIGHT, WEATHER, TRAFFIC VOLUME, ETC. TO ENSURE THAT ALL TRAFFIC/SAFETY CONTROL MEASURES ARE OPERATING FEFECTIVELY.

174 BOOKER DRIVE S.W. CITY OF CONCORD CONCORD, NORTH CAROLINA LOGAN RECREATION CENTER PARKING LOT EXTENTION

PROJECT # 2020-001



NARRATIVE DESCRIPTION

THIS PROJECT CONSISTS OF APPROX. 11,719 sq. ft. OF ASPHALT FOR THE INSTALLATION OF A NEW PARKING LOT FOR LOGAN COMMUNITY CENTER.

THE EFFECTIVE AREA OF GROUND DISTURBANCE IS .43± ACRES. THE WORK IS TO PROCEED IN SUCH A MANNER AS TO LIMIT THE AMOUNT OF GROUND DISTURBANCE BY HAVING ONLY ONE SECTION OF THE DITCH OPEN AT A TIME THEREBY REDUCING THE POTENTIAL FOR LARGE QUANTITIES OF SEDIMENT TO BE TRANSPORTED OFF—SITE. SEEDING OF DENUDED AREAS SHALL BE DONE AS SOON AS POSSIBLE, BUT IN NO CASE LONGER THAN 10 DAYS AND IN ACCORDANCE WITH THE SPECIFICATIONS GIVEN IN THE PLANS. REMOVAL OF ALL SEDIMENTATION AND EROSION CONTROL DEVICES SHALL ONLY BE DONE AFTER APPROVAL HAS BEEN COORDINATED WITH NCDEQ — DIVISION OF ENERGY, MINERAL AND RESOURCES AND THE CITY OF CONCORD. DOCATION AND PROTECTION OF ALL UTILITIES IN THE WORK AREA SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. IN THE EVENT OF AN UNFORESEEN CONFLICT, THE CONTRACTOR SHALL NOTIFY THE CITY OF CONCORD ENGINEERING DEPARTMENT IMMEDIATELY.

ALL TRAFFIC CONTROL AND SAFETY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE CONDUCTED IN STRICT ACCORDANCE WITH THE LATEST REVISION OF PART IV OF THE M.U.T.C.D., NCDOT, AND ALL OTHER STATE AND FEDERAL REGULATIONS. COMPLETION AND ACCEPTANCE OF THE WORK IS ANTICIPATED TO BE READY FALL OF 2025.



PREPARED BY
ENGINEERING DEPARTMENT
CITY OF CONCORD
P.O. BOX 308
CONCORD N.C. 28026
(704) 920-5425



Surveyor's Seal

LEGEND

PROPOSED SEWER LINE, MANHOLE & CLEAN-OUT

PROPOSED WATER LINE PROPOSED FIRE HYDRANT PROPOSED WATER VALVE PROPOSED BLOW-OFF SEDIMENT FENCING DA-GLO ORANGE PERSONNEL FENCING PROPOSED ENCASEMENT EXISTING SEWER AND MANHOLE EXISTING SEWER FORCE MAIN EXISTING WATER LINE — GAS — GAS — GAS — — EXISTING GAS LINE EXISTING TELEPHONE (OVERHEAD OR UNDERGROUND) EXISTING ELECTRIC (OVERHEAD OR UNDERGROUND) PROPERTY LINE AND IRON PIN TEMPORARY CONSTRUCTION EASEMENT RIGHT OF WAY/PERMANENT EASEMENT WATERWAY/DITCH LINE EXISTING BARBED WIRE FENCE EXISTING WOVEN WIRE FENCE EXISTING CHAIN LINK FENCE TREE/WOODS LINE EXISTING FIRE HYDRANT EXISTING WATER VALVE EXISTING WATER METER EXISTING WELL EXISTING TELEPHONE/POWER RISER EXISTING LIGHT POLE

DRAWING INDEX

_CONC. MON.

SHEET 1 PROJECT NARRATIVE, NOTES, LEGEND, SITE MAP

SHEET 2 EXISTING CONDITIONS

EXISTING RCP OR CMP

EXISTING MAILBOX

SHEET 3 EROSION CONTROL AND DEMOLITION PLAN

SHEET 4 GRADING PLAN

SHEET 5 STORM DRAINAGE PLAN PROFILE

EXISTING POWER POLE/GUY WIRE

EXISTING STREET OR LOCATION SIGN

EXISTING CONCRETE R/W MONUMENT

BENCHMARK/TEMPORARY BENCHMARK

SHEET 6-8 RETAINING WALL PLAN AND PROFILE

SHEET 9 FILTERRA BASIN DETAILS

SHEET 10 STORM DRAINAGE DETAILS

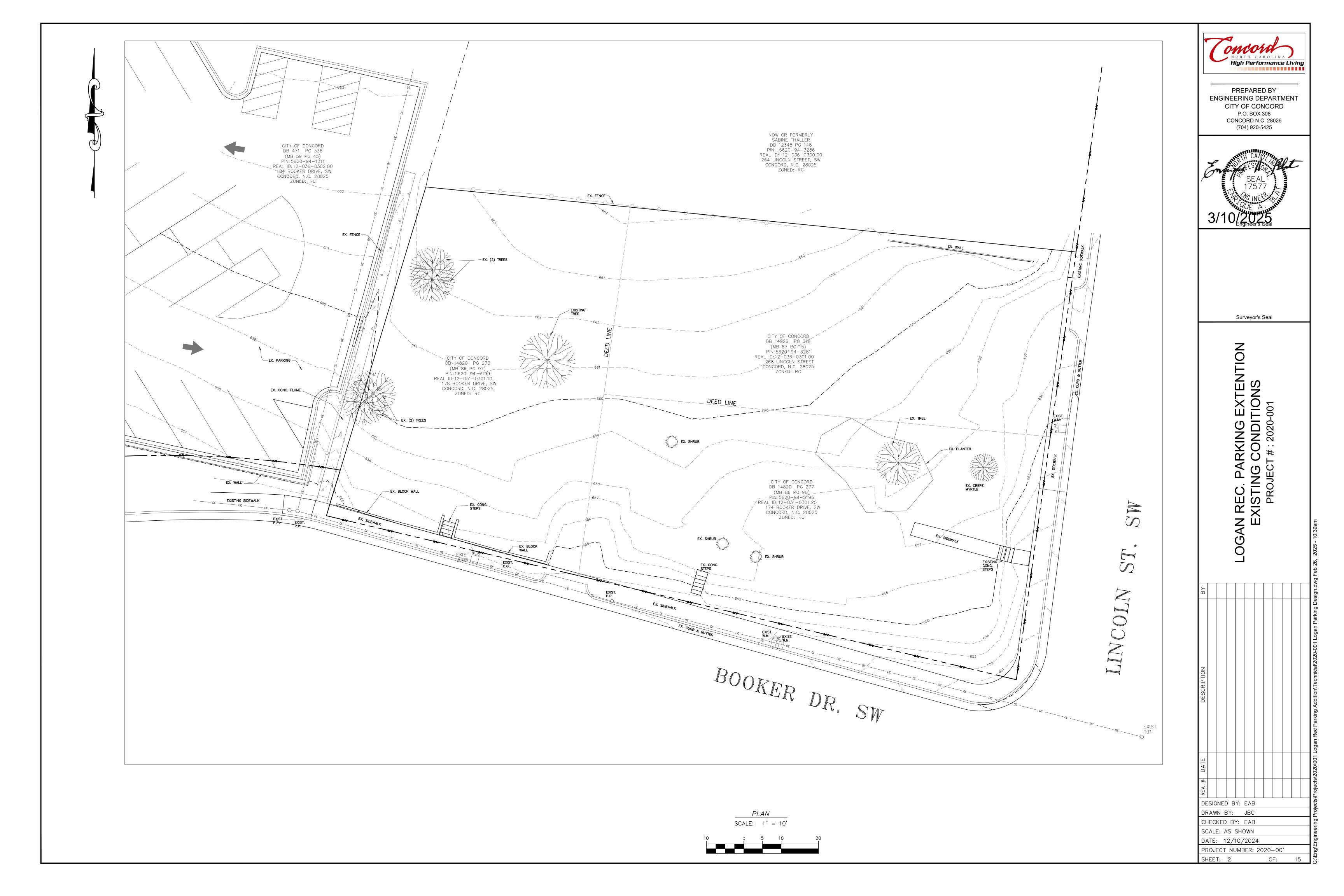
SHEET 11 RETAINING WALL & PAVEMENT DETAILS

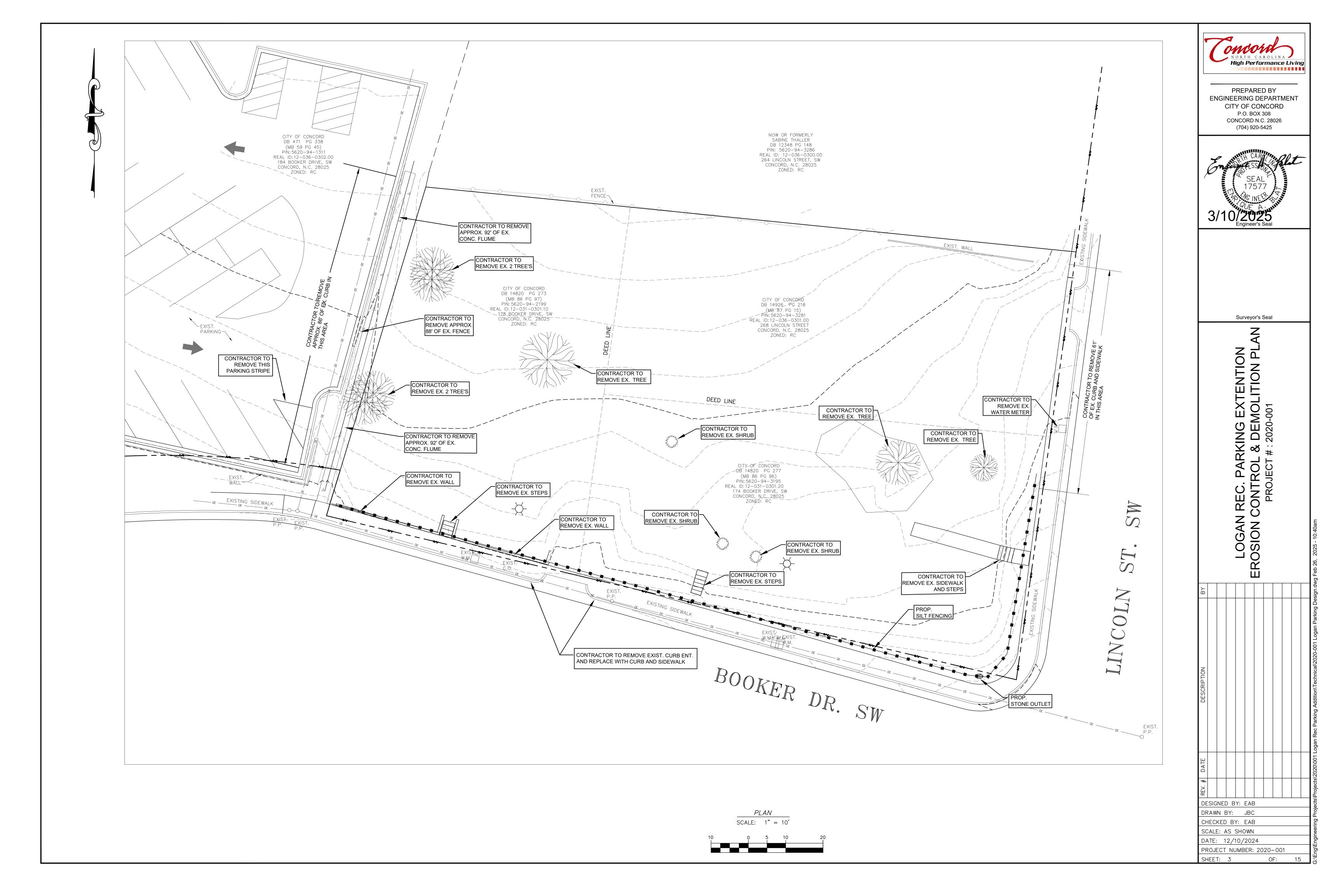
SHEET 12 DETAILS -EROSION CONTROL

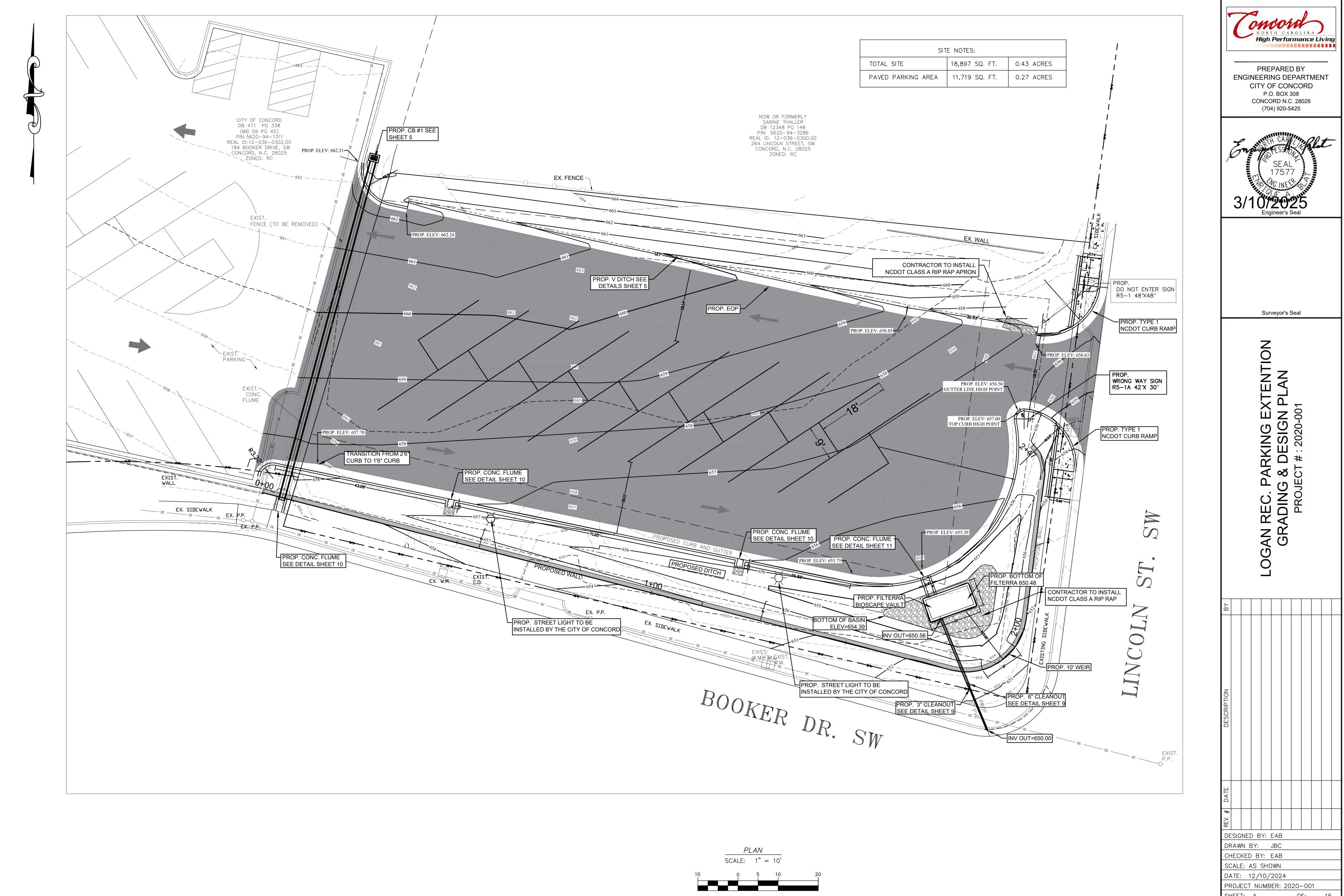
SHEET 13-14 PLANTING PLAN

SHEET 15 OVERALL PARKING PLAN

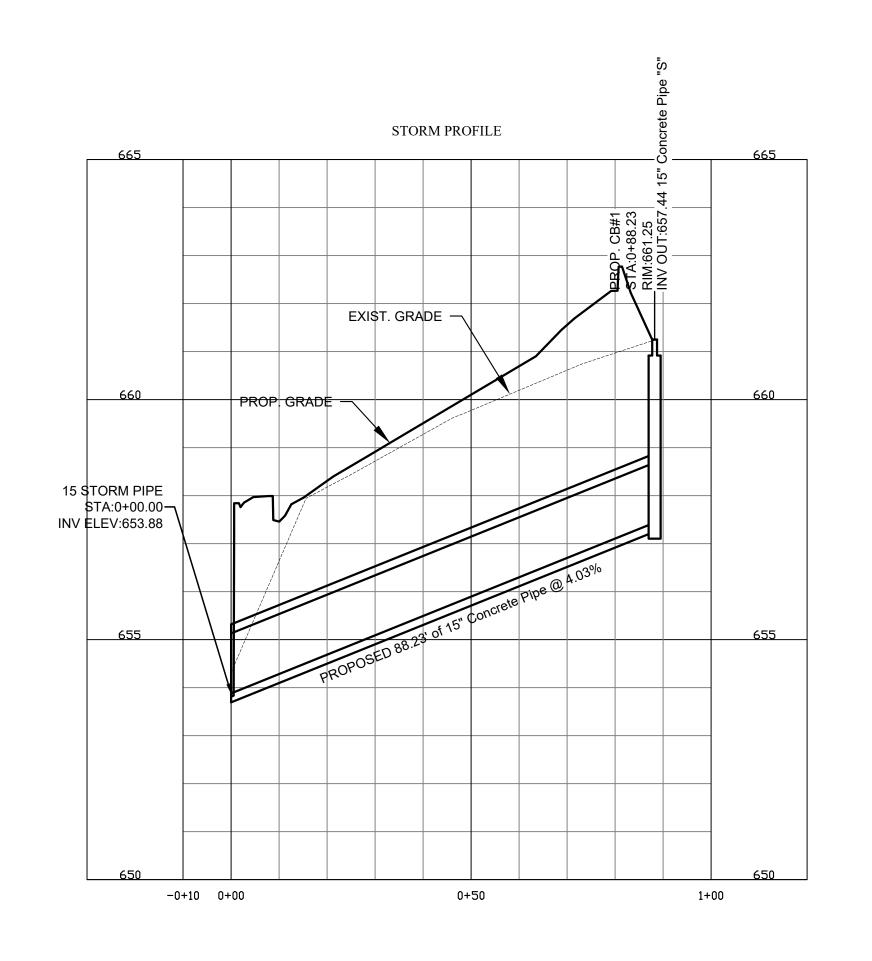
REV. # DATE DESCRIPTION BY



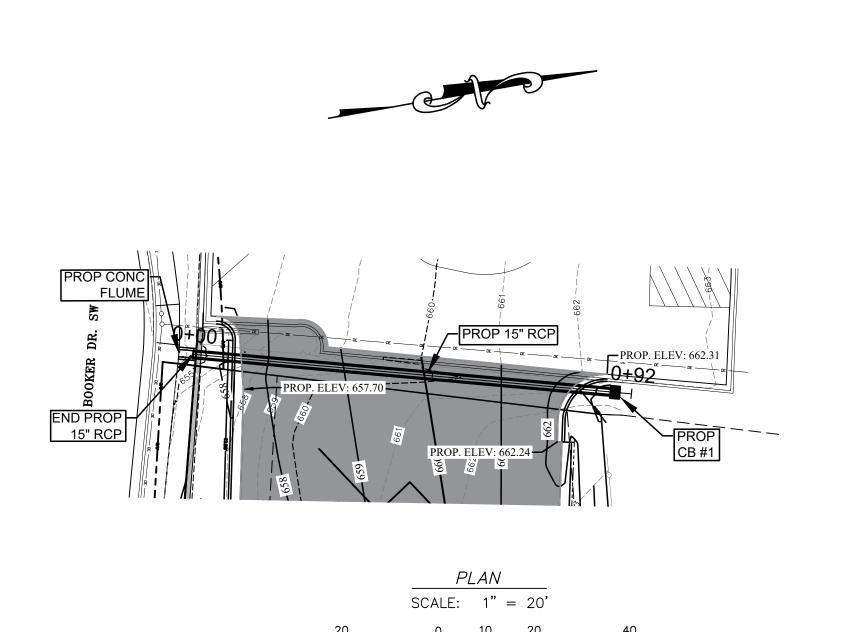








 $\frac{PROFILE}{SCALE: \quad HORZ: \quad 1" = 20'} \\ VERT: \quad 1" = 2'$





P.O. BOX 308 CONCORD N.C. 28026 (704) 920-5425



Surveyor's Seal

DESIGNED BY: EAB DRAWN BY: JBC CHECKED BY: EAB SCALE: AS SHOWN

DATE: 12/10/2024 PROJECT NUMBER: 2020-001

GEOGRID EMBEDMENT LENGTH=5.0' _ EXIST. GRADE PROP. GRADE -PROP. GRADE -660 655 PROP. GEOGRID -0+10 0+00 0+10 0+30 0+70 0+90 1+00

HORZ: 1" = 5'VERT: 1" = 5'

PROP CURB AND GUTTER

EXIST CURB AND GUTTER

PROPOSED GEOGRID

PROPOSED WALL

ALL GEOGRID IS GEOSTAR TECHNOLOGIES HP200

PROP. BEGINNING OF RETAINING WALL STA. 0+00

ING EXTENTION PROFILE

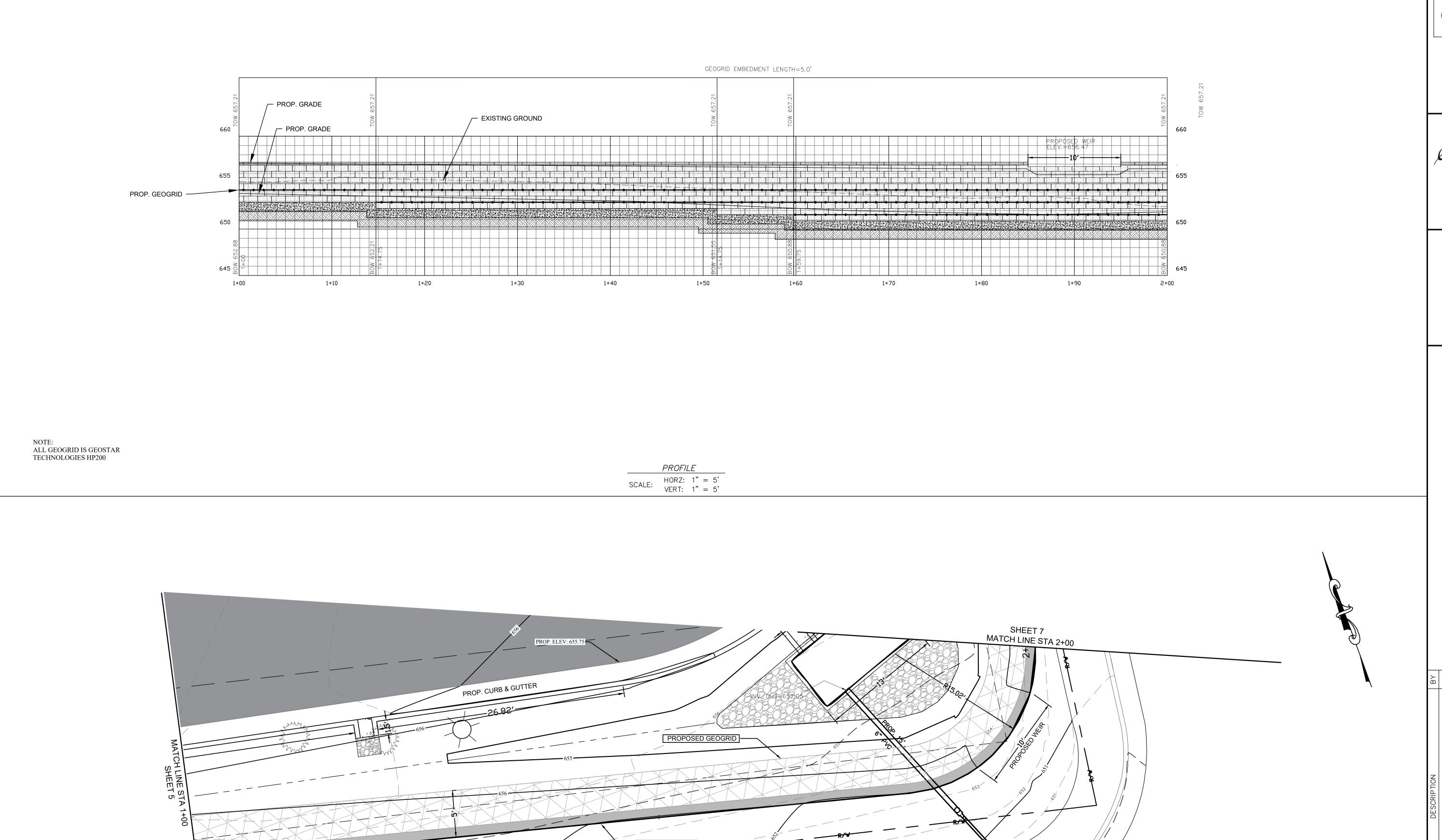
DESIGNED BY: EAB DRAWN BY: JBC CHECKED BY: EAB

PREPARED BY ENGINEERING DEPARTMENT CITY OF CONCORD P.O. BOX 308 CONCORD N.C. 28026 (704) 920-5425

Surveyor's Seal

SCALE: AS SHOWN DATE: 12/10/2024

PROJECT NUMBER: 2020-001



BOOKER DR. SW

PREPARED BY ENGINEERING DEPARTMENT CITY OF CONCORD P.O. BOX 308 CONCORD N.C. 28026 (704) 920-5425



Surveyor's Seal

DESIGNED BY: EAB DRAWN BY: JBC

CHECKED BY: EAB SCALE: AS SHOWN DATE: 12/10/2024

PROJECT NUMBER: 2020-001

GEOGRID EMBEDMENT LENGTH=5.0' PROP. GRADE — PROP. GEOGRID -EXISTING GROUND -PROP. GRADE — 2+10 2+20 2+30 2+40 2+50

SCALE: HORZ: 1" = 5' VERT: 1" = 5'

PREPARED BY ENGINEERING DEPARTMENT CITY OF CONCORD P.O. BOX 308 CONCORD N.C. 28026 (704) 920-5425



Engineer's Seal 3/10/2025

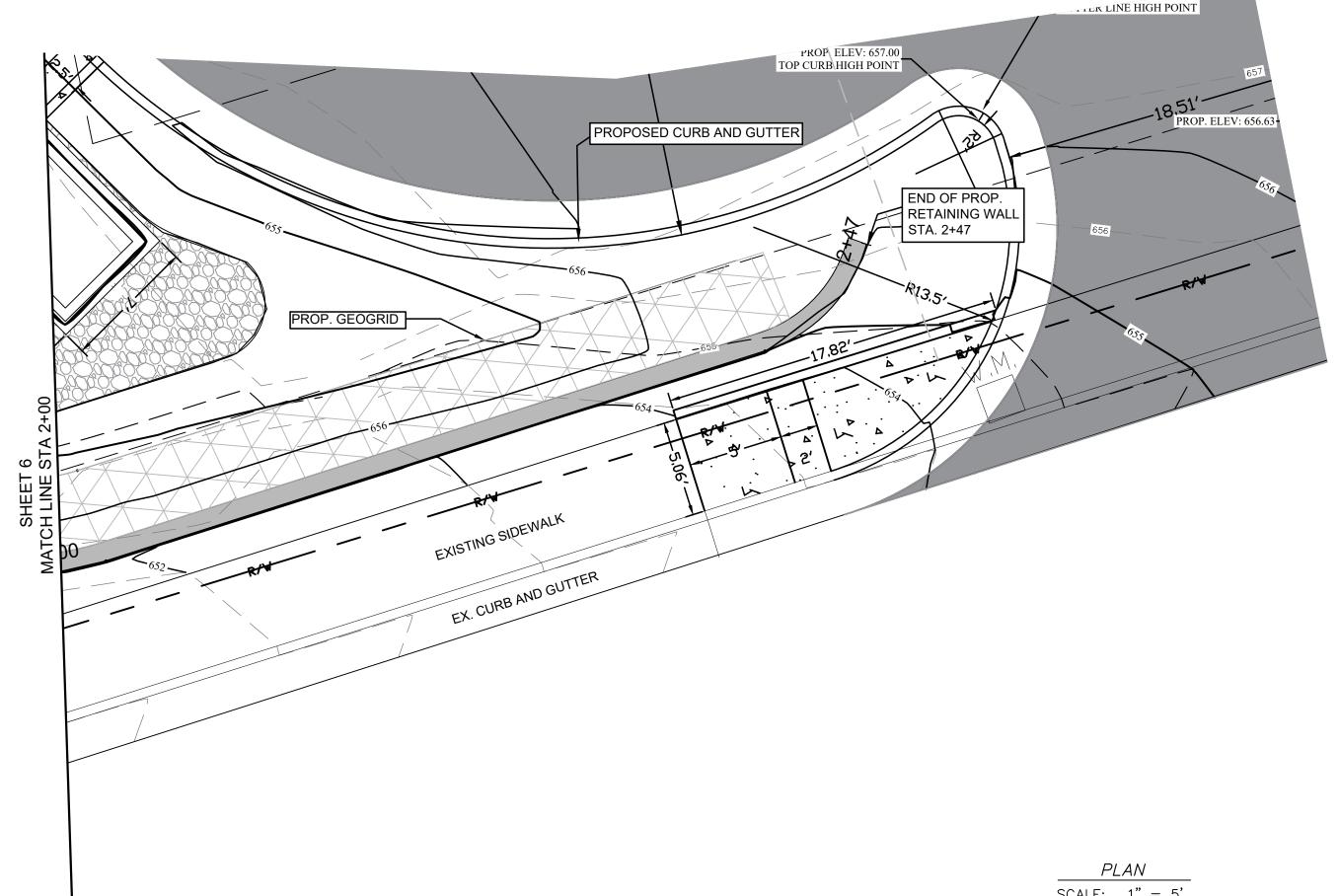
Surveyor's Seal

DESIGNED BY: EAB DRAWN BY: JBC CHECKED BY: EAB SCALE: AS SHOWN

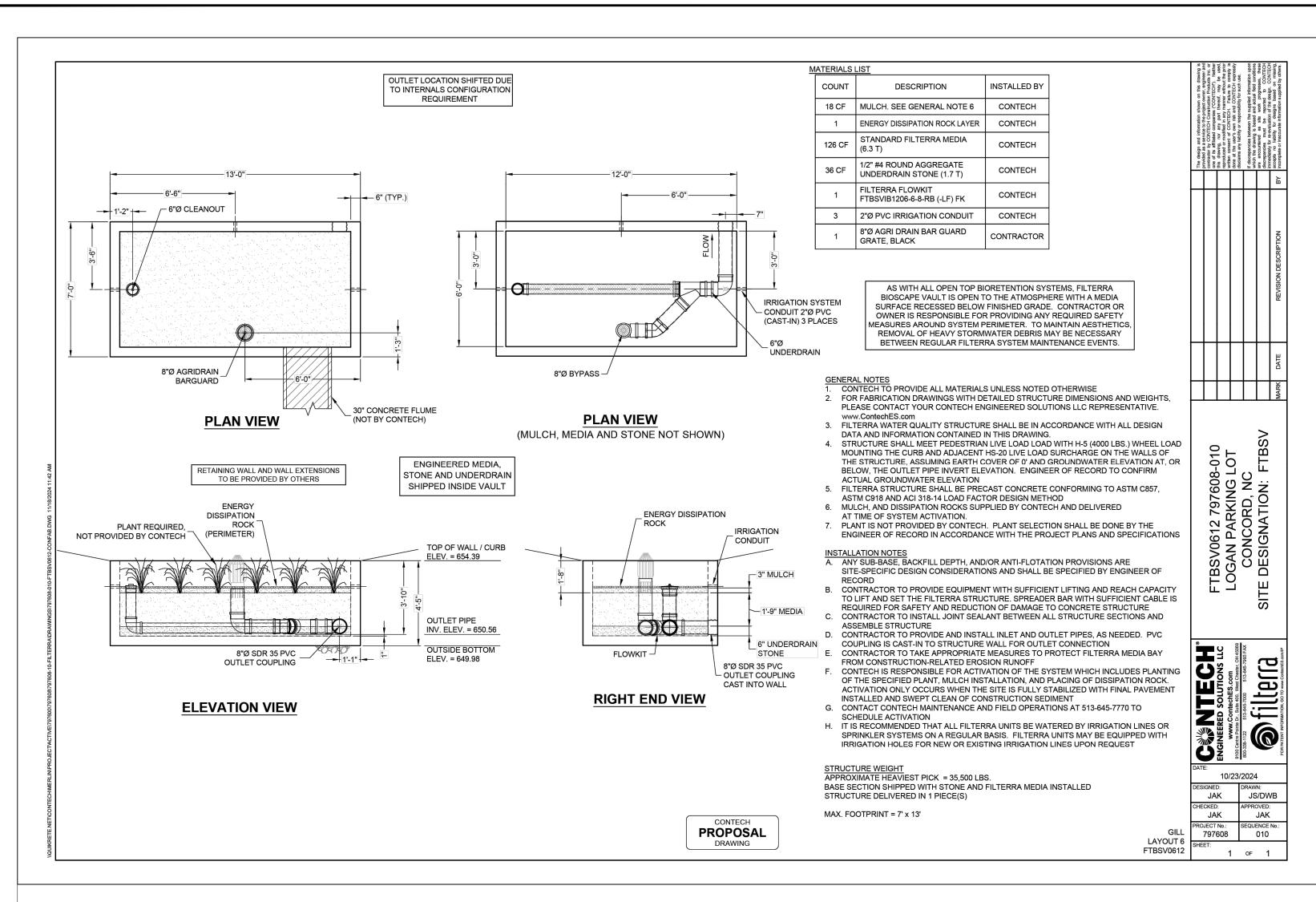
DATE: 12/10/2024

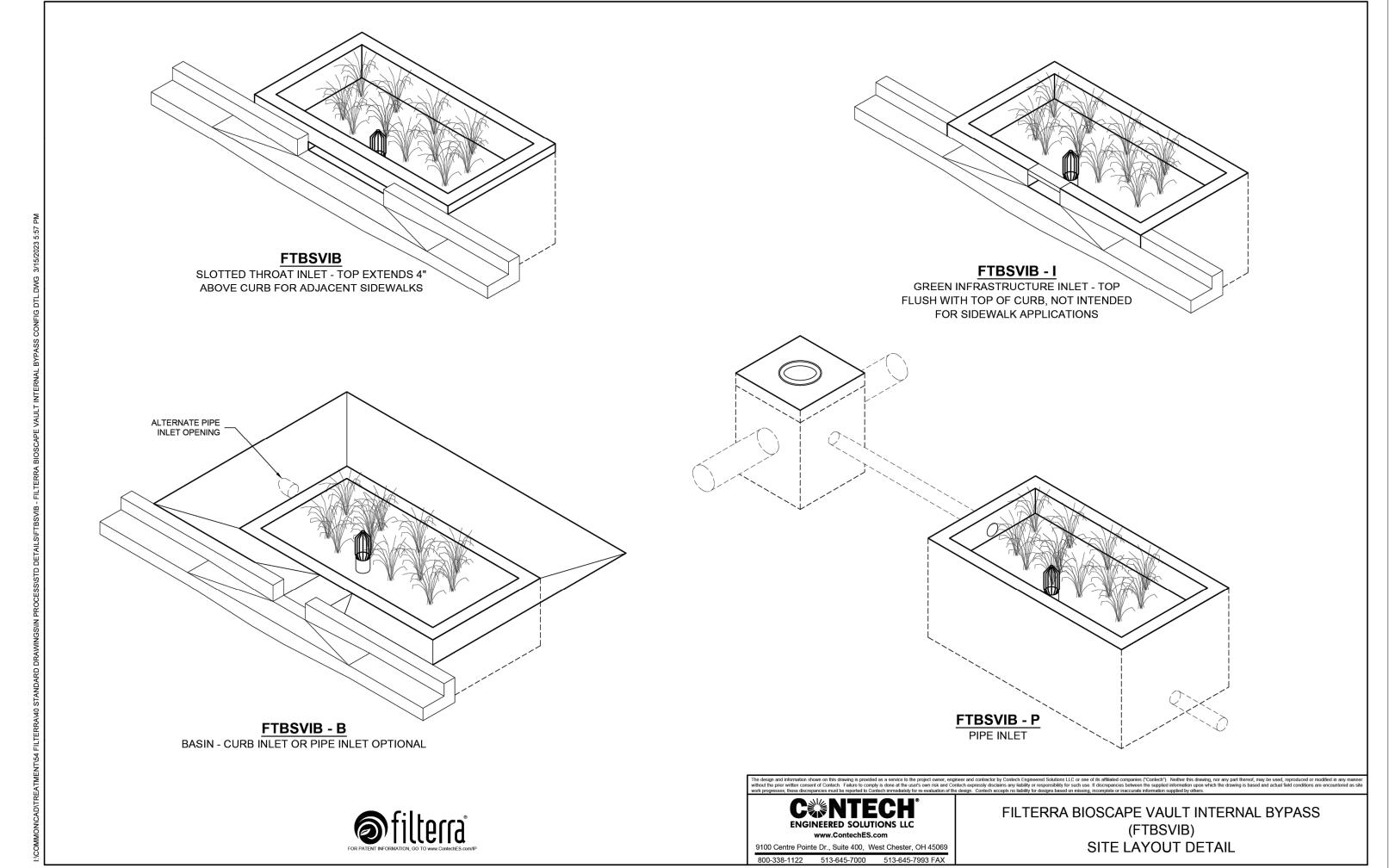
SHEET: 8

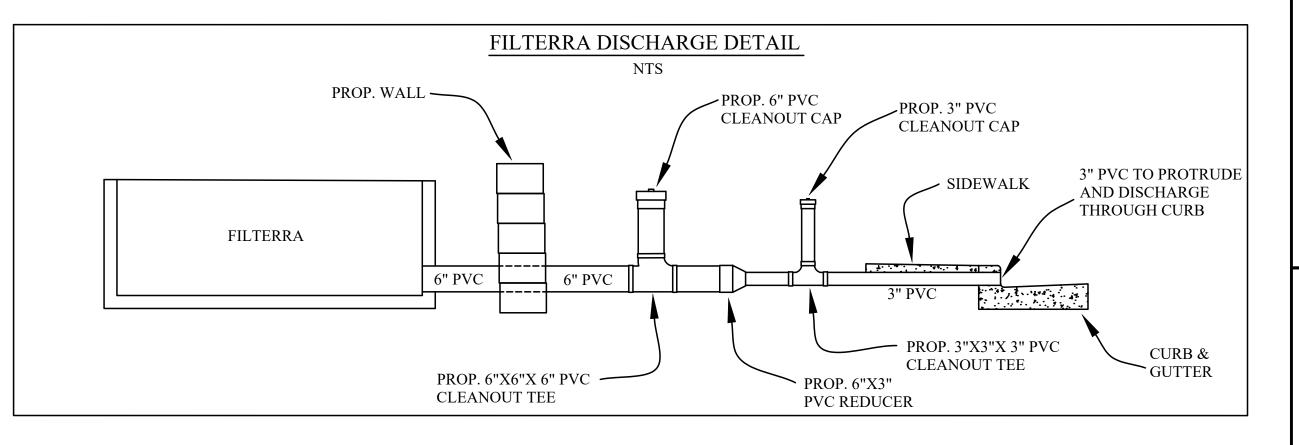
PROJECT NUMBER: 2020-001



ALL GEOGRID IS GEOSTAR TECHNOLOGIES HP200







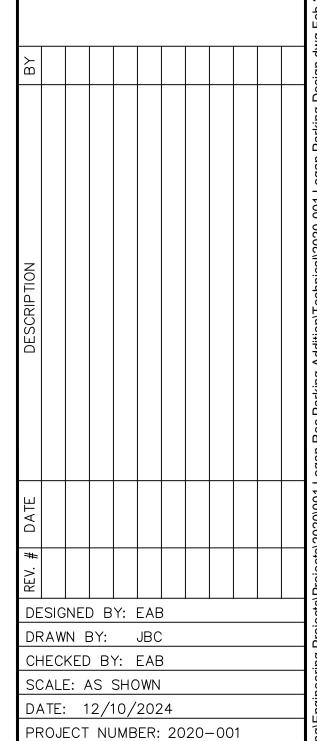
PREPARED BY
ENGINEERING DEPARTMENT
CITY OF CONCORD
P.O. BOX 308
CONCORD N.C. 28026

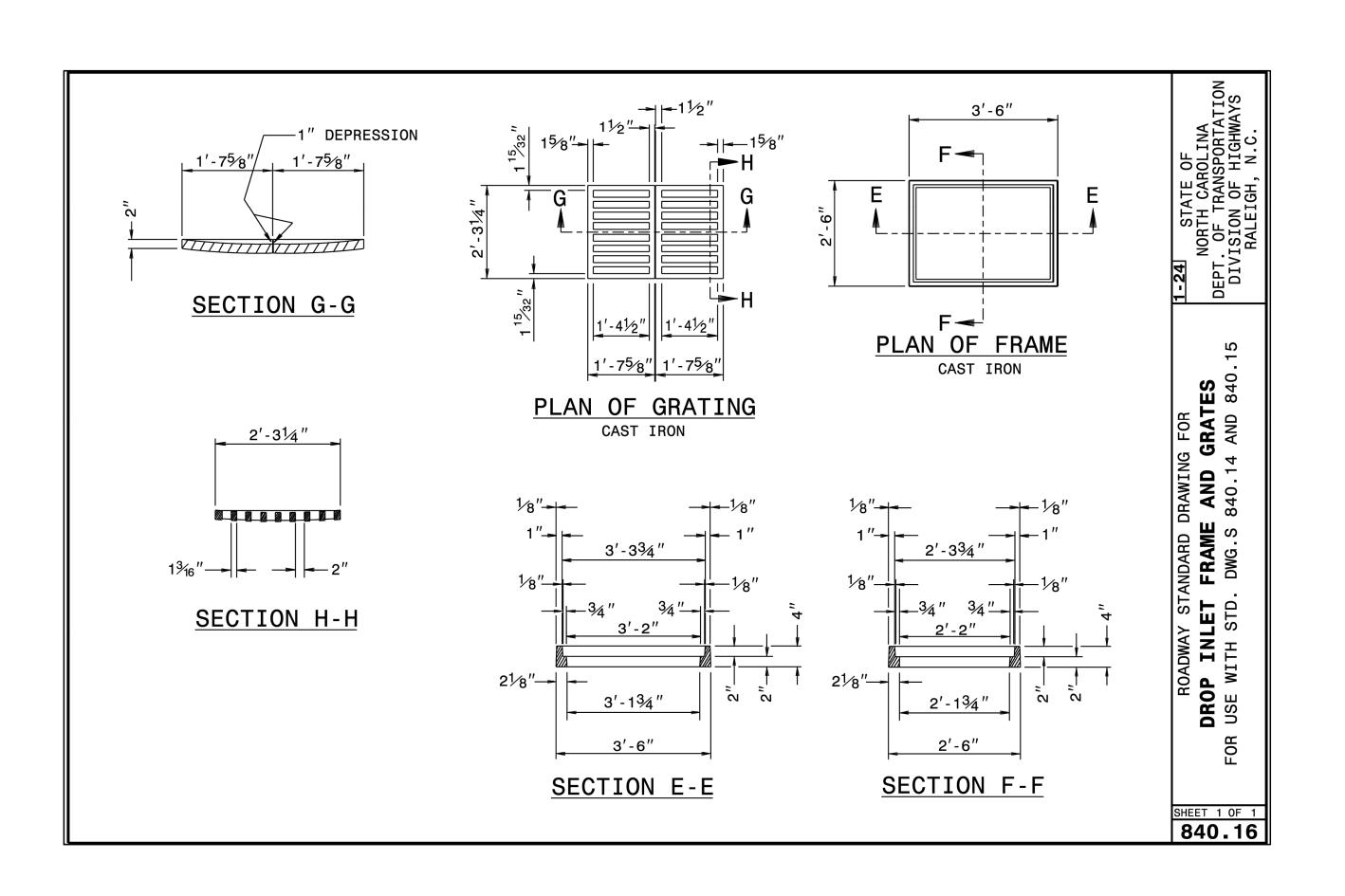
(704) 920-5425

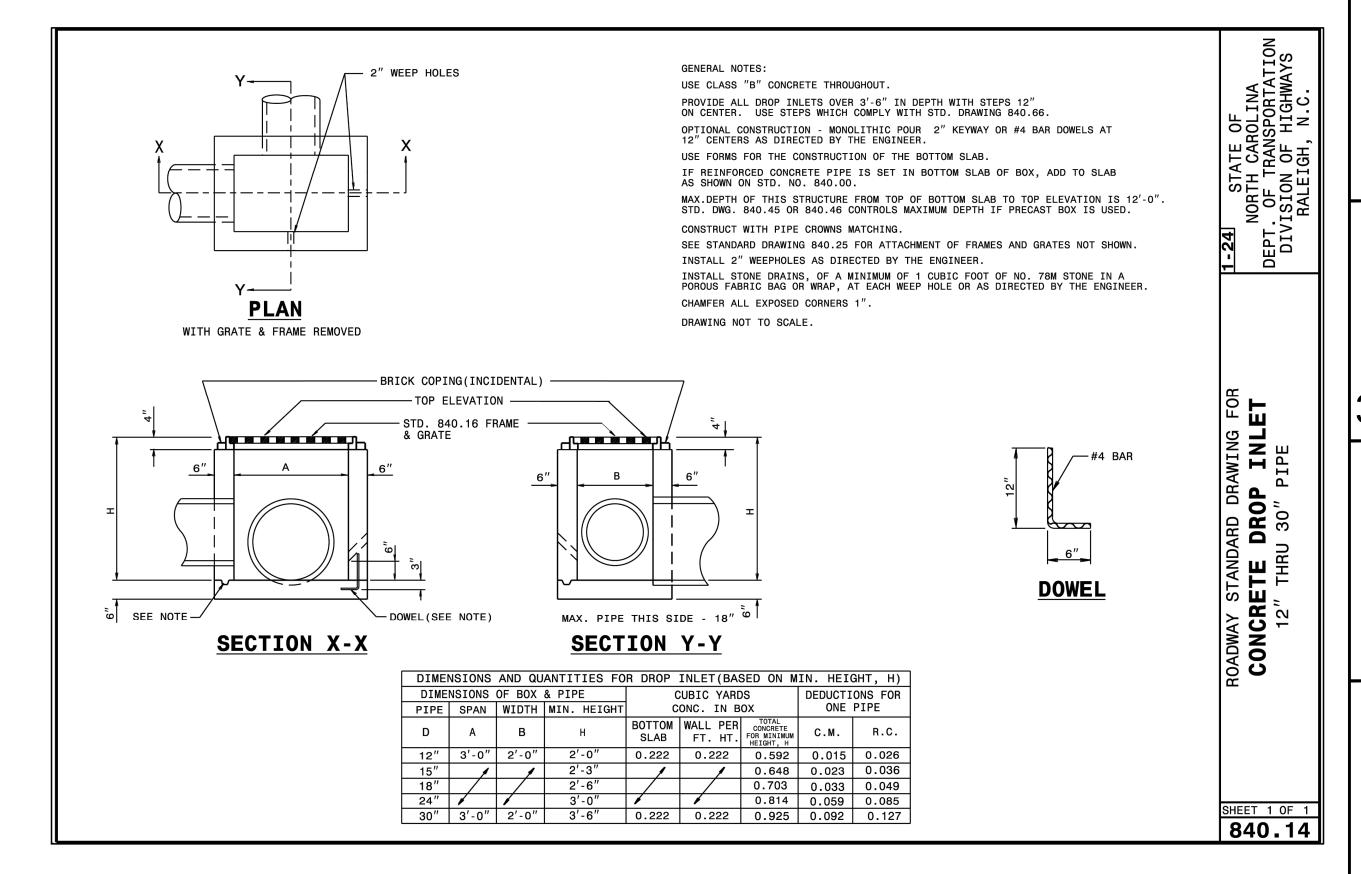


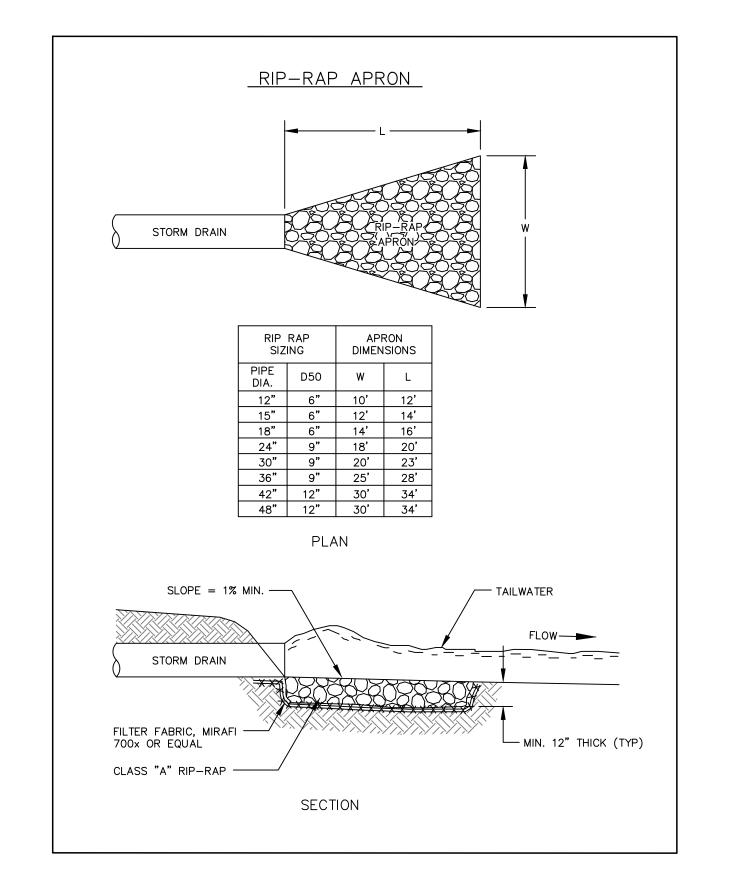
Surveyor's Seal

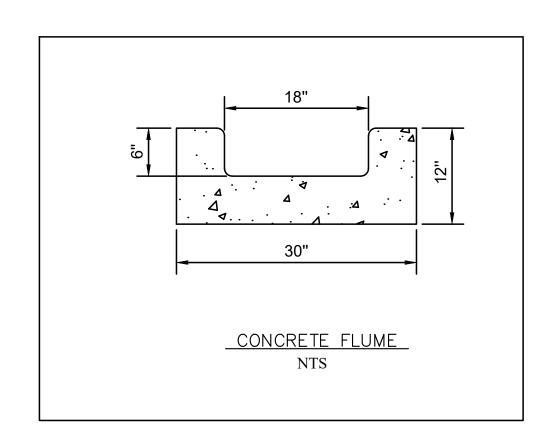
LOGAN REC. PARKING EXTENTIO
STANDARD FILTERRA DRAINAGE
BASIN DETAILS
PROJECT #: 2020-001

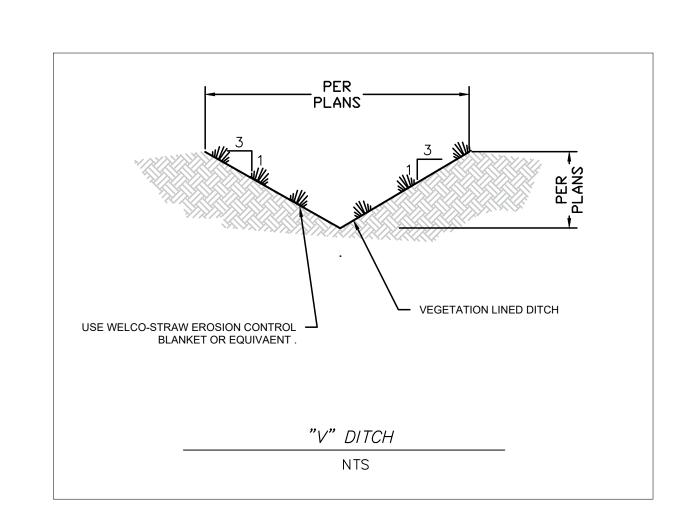












PREPARED BY
ENGINEERING DEPARTMENT
CITY OF CONCORD
P.O. BOX 308
CONCORD N.C. 28026
(704) 920-5425



Surveyor's Seal

LOGAN REC. PARKING EXTENTION STORM DRAINAGE DETAILS PROJECT #: 2020-001

DESIGNED BY: EAB

DRAWN BY: JBC

CHECKED BY: EAB

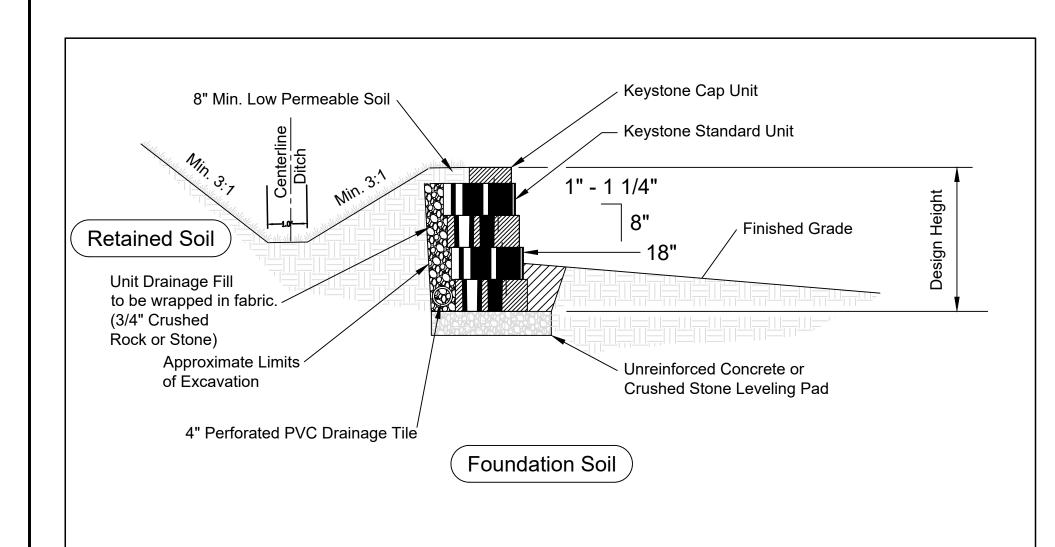
SCALE: AS SHOWN

DATE: 12/10/2024

SHEET: 10

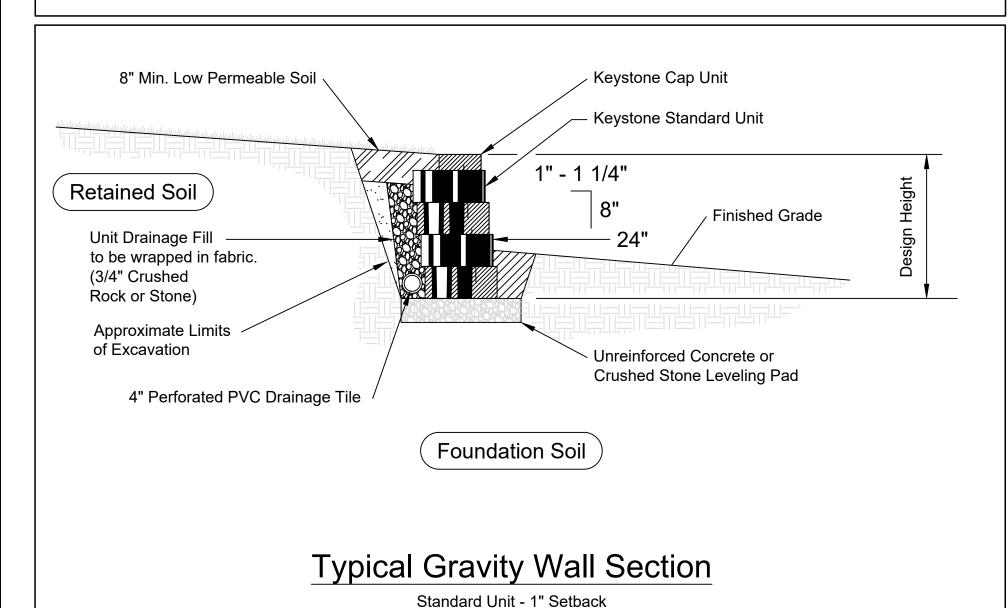
PROJECT NUMBER: 2020-001

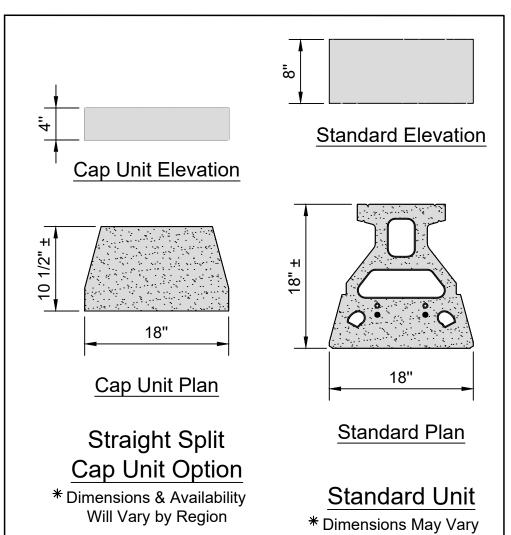
OF:

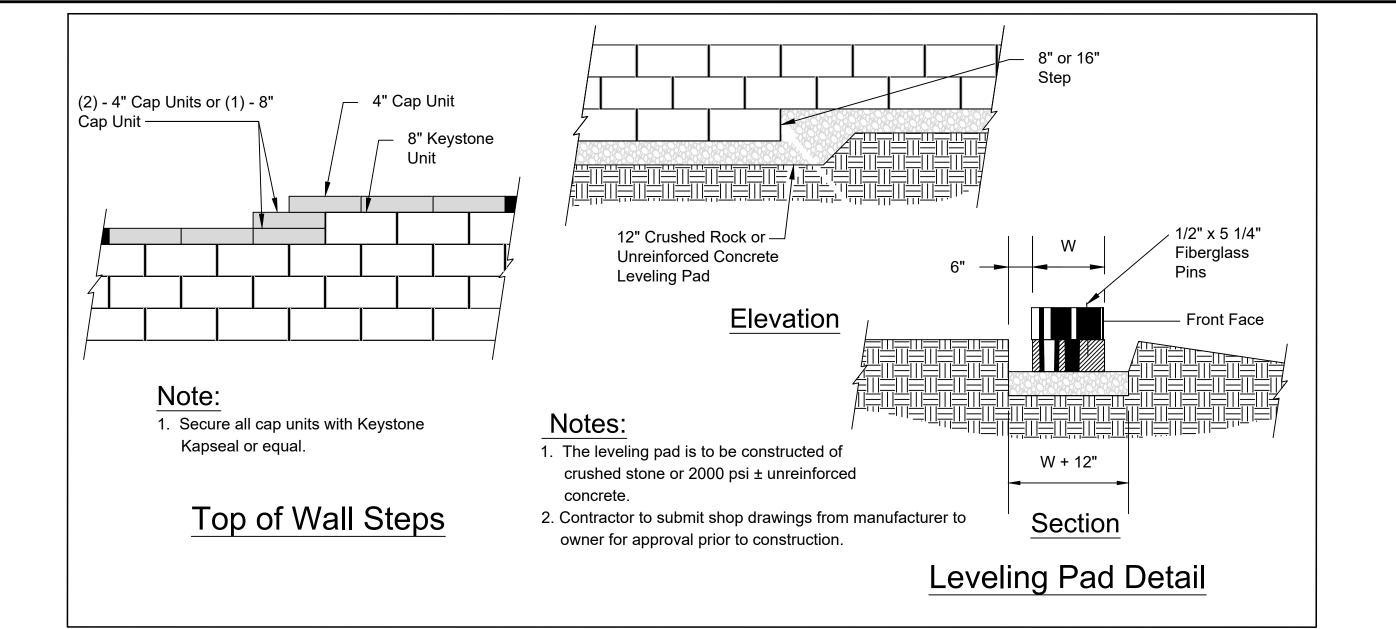


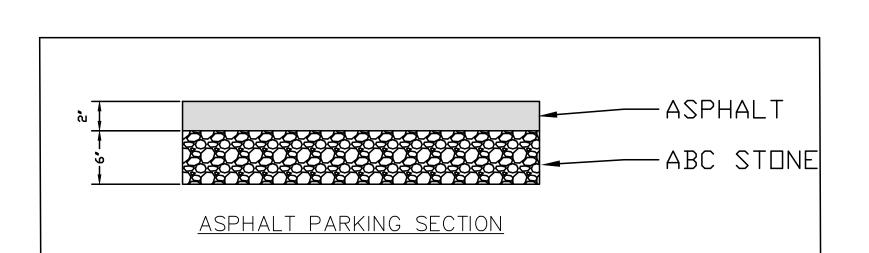
Typical Gravity Wall Section at Ditch Area

Standard Unit - 1" Setback

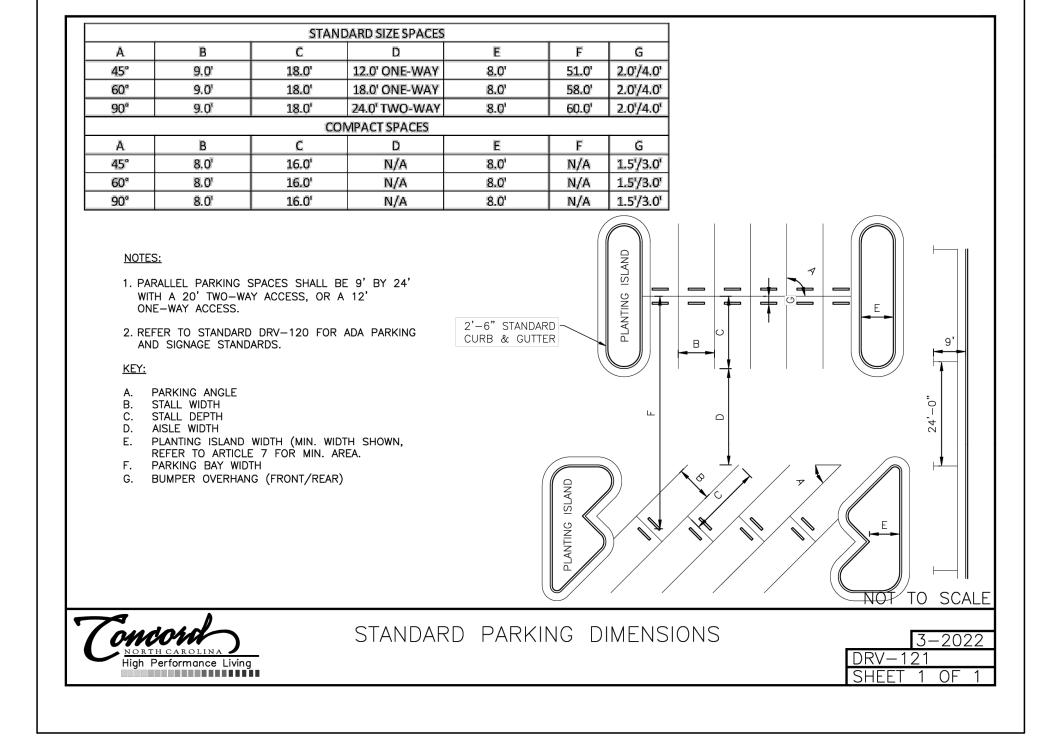


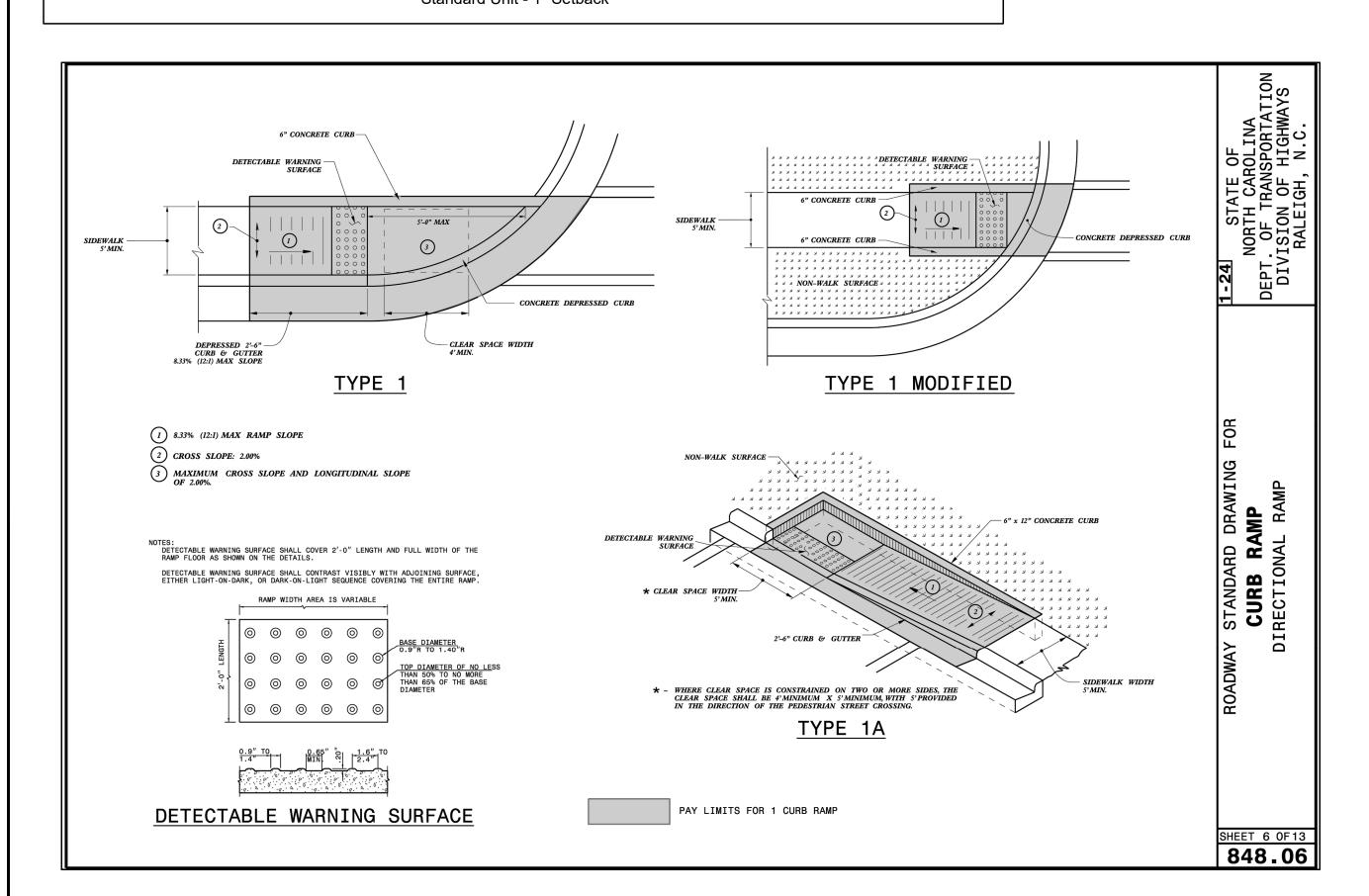


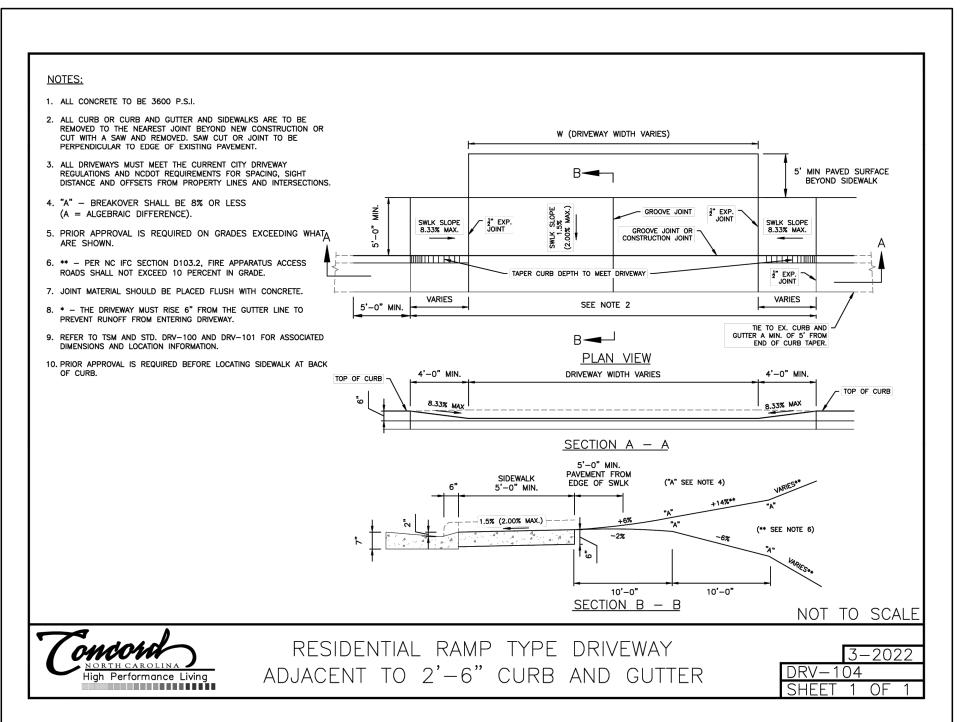


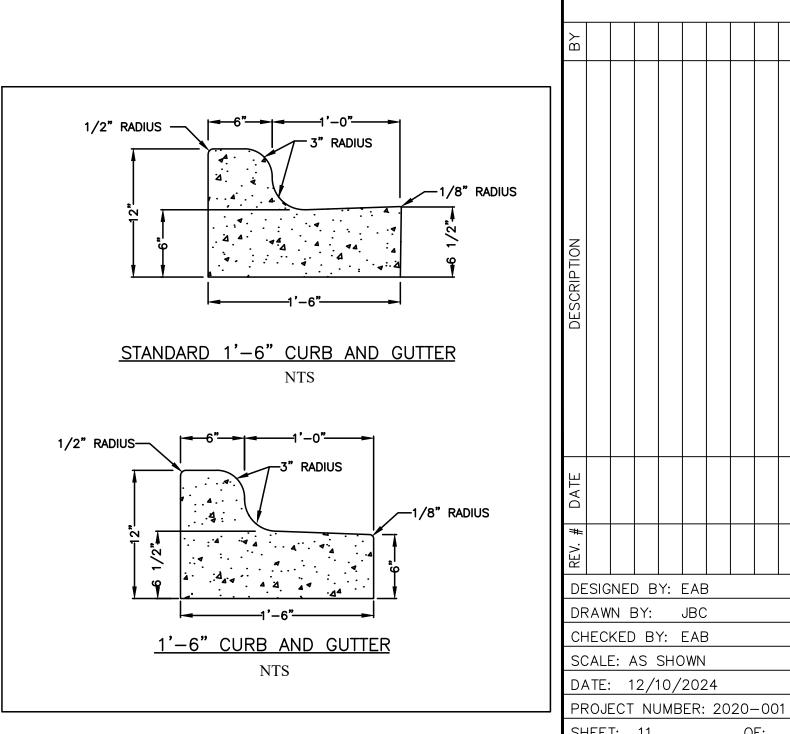


by Region









PREPARED BY ENGINEERING DEPARTMENT CITY OF CONCORD P.O. BOX 308 CONCORD N.C. 28026 (704) 920-5425



Surveyor's Seal

ENTION MENT SAN REC. PA ETAINING WA STANDAF PROJECT

DESIGNED BY: EAB DRAWN BY: JBC CHECKED BY: EAB SCALE: AS SHOWN DATE: 12/10/2024

OF:

EROSION CONTROL NOTES

- 1. THE CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE PROJECT CONSTRUCTION ALL EROSION CONTROL MEASURES SHOWN WITHIN THESE PLANS IN ACCORDANCE WITH APPLICABLE NCDEQ EROSION AND SEDIMENT CONTROL AND NCDOT REGULATIONS.
- 2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL REGULATIONS, NCDOT, US. DEPARTMENT OF AGRICULTURE, AND US. SOIL CONSERVATION SERVICE REGULATIONS. 3. ALL CONSTRUCTION WORK SHALL BE IN COMPLIANCE WITH REGULATIONS OF THE
- NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER GENERAL PERMIT.
- 4. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE NCDEQ EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- 5. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES, WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS. CONTACT PROJECT ENGINEER AND PROJECT EROSION CONTROL INSPECTOR TO ENSURE ADDITIONAL EROSION CONTROL MEASURES ARE INSTALLED PRIDR TO OFF-SITE GRADING.
- 6. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY, RELOCATED WHEN AND AS NECESSARY AND SHALL BE CHECKED AFTER EVERY RAINFALL, SEEDED AREAS SHALL BE CHECKED REGULARLY AND SHALL BE WATERED, FERTILIZED, RESEEDED AND MULCHED AS NECESSARY TO OBTAIN A DENSE STAND OF
- GRASS. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEEDED, TEMPORARILY OR PERMANENTLY IN ACCORDANCE WITH THE NORTH CAROLINA SEDIMENT CONTROL REGULATIONS, PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REDUIRED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
- 8. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY, SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
- 9. WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.
- 10. ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF CLEANING.
- 11. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE, AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AN EROSION AND SEDIMENTATION PERMIT FROM THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESDURCES FOR ANY NEW OFF-SITE BORROW AREA. ANY OFF-SITE BORROW AND WASTE REQUIRED FOR THIS PROJECT MUST COME FROM AN APPROVED EROSION CONTROL PLAN SITE, A SITE REGULATED UNDER THE MINING ACT OF 1971, OR A LANDFILL REGULATED BY THE DIVISION OF SOLID WASTE
- MANAGEMENT. DEBRIS FROM DEMOLITION ACTIVITIES SHOULD BE DISPOSED OF AT AN APPROVED FACILITY.

SELF-INSPECTION

PERSONS RESPONSIBLE FOR LAND DISTURBING ACTIVITIES MUST INSPECT THE SEDIMENT AND EROSION CONTROL MEASURES ON THIS PROJECT AFTER EACH PHASE TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. SELF-INSPECTION REPORTS ARE REQUIRED. A SAMPLE REPORT AND DETAILS OF THE PROGRAM CAN BE FOUND ON THE LAND QUALITY WEBSITE.

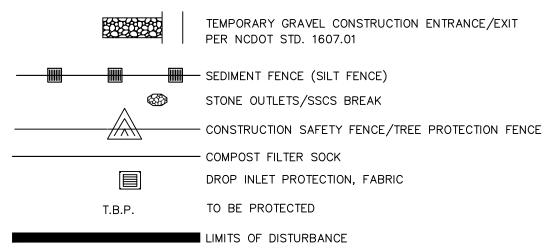
STABILIZATION REQUIREMENTS: (03-11-16)S-3

STABILIZATION FOR THIS PROJECT SHALL COMPLY WITH THE TIME FRAME GUIDELINES AS SPECIFIED BY THE NCG-010000 GENERAL CONSTRUCTION PERMIT EFFECTIVE AUGUST 3, 2011 ISSUED BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES DIVISION OF WATER QUALITY. TEMPORARY OR PERMANENT GROUND COVER STABILIZATION SHALL OCCUR WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. WITH THE FOLLOWING EXCEPTIONS IN WHICH TEMPORARY OR PERMANENT GROUND COVER SHALL BE PROVIDED IN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY:

- SLOPES BETWEEN 2:1 AND 3:1, WITH A SLOPE LENGTH OF 10 FT. OR LESS • SLOPES 3:1 OR FLATTER, WITH A SLOPE OF LENGTH OF 50 FT. OR LESS • SLOPES 4:1 OR FLATTER
- THE STABILIZATION TIMEFRAME FOR HIGH QUALITY WATER (HQW) ZONES SHALL BE 7 CALENDAR DAYS WITH NO EXCEPTIONS FOR SLOPE GRADES OR LENGTHS. HIGH QUALITY WATER ZONES (HQW) ZONES ARE DEFINED BY NORTH CAROLINA ADMINISTRATIVE CODE 15A NCAC 04A.0105 (25). TEMPORARY AND PERMANENT GROUND COVER STABILIZATION SHALL BE ACHIEVED IN ACCORDANCE WITH THE PROVISIONS IN THIS CONTRACT AND AS DIRECTED.

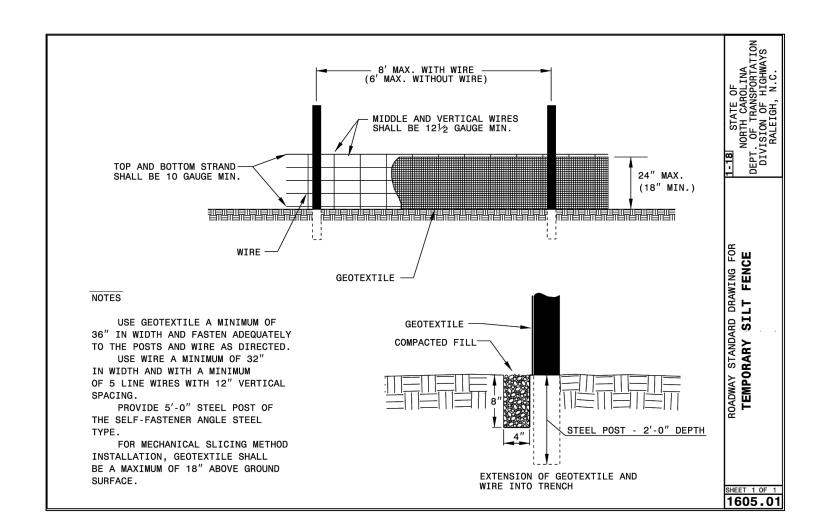
PROVISIONS FOR A PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE ACCOMPLISHED WITHIN 15 WORKING DAYS OF 90 CALENDAR DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT, WHICHEVER PERIOD IS SHORTER.

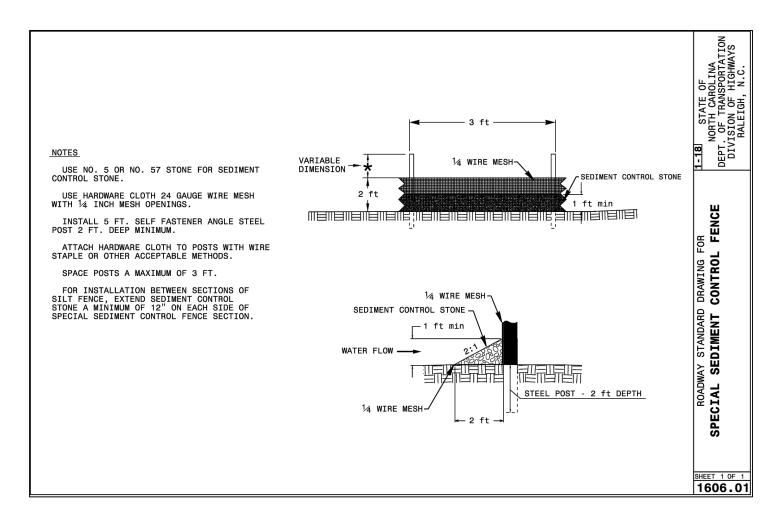
SEDIMENTATION AND EROSION CONTROL LEGEND



MAINTENANCE PLAN

- 1. ALL EROSION AND SEDIMENTATION CONTROL DEVICES WILL BE CHECKED BY THE CONTRACTOR FOR STABILITY AND OPERATION WITHIN 24 HOURS AFTER EVERY RUNDFF PRODUCING RAINFALL INCLUDING ANY STORM EVENT GREATER THAN 0.5" OF PRECIPITATION DURING ANY 24 HOUR PERIOD, BUT IN NO CASE LESS THAN ONCE EVERY WEEK, ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED AS NECESSARY.
- 2. MAINTAIN EROSION CONTROL DEVICES AS FOLLOW: • TEMPORARY SILT FENCE - REMOVE SEDIMENT DEPOSITS WHEN IT BECOMES 0.5 FT DEEP AT THE FENCE AND AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. AVOID UNDERMINING THE FENCE.
- TEMPORARY CHECK DAM REMOVE SEDIMENT ACCUMULATION BEHIND THE DAMS AS NEEDED TO PREVENT DAMAGE TO CHANNEL VEGETATION. ADD STORE TO DAMS AS NEEDED TO MAINTAIN DESIGN HEIGHT AND CROSS SECTION.
- STORM DRAIN INLET PROTECTION REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAINFALL.
- TEMPORARY DIVERSION DITCH INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AFTER EVER RAINFALL, IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND.
- SEDIMENT DAMS REMOVE SEDIMENT AND RESTORE BASIN TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF THE DESIGN DEPTH OF THE TRAP. CHECK THE STRUCTURE FOR DAMAGE FROM EROSION TO ENSURE IT IS A MINIMUM 1.5 FEET BELOW THE LOW POINT OF THE EMBANKMENT.
- TEMPORARY SLOPE DAM INSPECT THE SLOPE DRAIN AND SUPPORTING DIVERSION AFTER EVERY RAINFALL AND PROMPTLY MAKE NECESSARY REPAIRS. WHEN THE PROTECTED AREA HAS BEEN PERMANENTLY STABILIZED, TEMPORARY MEASURES MAY BE REMOVED. MATERIALS DISPOSED OF PROPERLY AND ALL DISTURBED AREAS STABILIZED APPROPRIATELY.
- SEDIMENT TUBE CHECK SEDIMENT TUBE AFTER EACH RAINFALL. REMOVE SEDIMENT AND RESTORE ORIGINAL VOLUME WHEN SEDIMENT ACCUMULATES TO ONE-HALF THE DESIGN VOLUME.
- 3. ALL GRADED AREAS WILL BE SEEDED, FERTILIZED AND MULCHED ACCORDING TO SPECIFICATIONS, SPECIAL PROVISIONS AND THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL TO MAINTAIN A VIGOROUS. DENSE, VEGETATIVE COVER WITHIN REQUIRED SOIL STABILIZATION TIMEFRAMES. IF WORK ON THE PROJECT CEASES FOR MORE THAN THE AFOREMENTIONED LENGTH OF TIME, ALL DISTURBED AREAS SHALL HAVE TEMPORARY VEGETATIVE GROUND COVER ESTABLISHED AND EROSION CONTROL DEVICES MAINTAINED.
- 4. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES AS MAY BE REQUIRED TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION.
- 5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- 6. THE CONTRICTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRAKING OF MUD ONTO THE PAVED ROADWAY CONSTRUCTION AREAS. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT AS MAY BE REOUIRED.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR DIVERT SEDIMENT, LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS. TEMPORARY SEDIMENT BASIN MUST BE MAINTAINED PRIOR TO TRANSITIONING TO PERMANENT DRY OR WET





SPECIFICATIONS

NOTE: THE SILTSACK WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.

REGULAR FLOW SILTSACK®

(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

TEST METHOD

1 NOI ENTIES	ILSI MLIIIOD		OMIS	
GRAB TENSILE STRENGTH GRAB TENSILE ELONGATION PUNCTURE MULLEN BURST TRAPEZOID TEAR UV RESISTANCE APPARENT OPENING SIZE FLOW RATE		ASTM ASTM ASTM ASTM ASTM	D-4632 D-4632 D-4833 D-3786 D-4533 D-4355 D-4751 D-4491	300 LBS 20 % 120 LBS 800 PSI 120 LBS 80 % 40 US SIEVE 40 GAL/MIN/SQ F
PERMITTIVITY		ASTM	D-4491	0.55 SEC -1

HI-FLOW SILTSACK®

PROPERTIES

(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

(TON ANEAS OF MODERATE TO THE	WI INCOMMAND	NOW OIT)
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	_ ASTM D-4491	1.5 SEC -1

(FOR AREAS WHERE THERE IS A CONCERN FOR OIL RUN-OFF OR SPILLS) DEPENDING ON YOUR PARTICULAR APPLICATION, THE SILTSACK CAN BE MADE FROM EITHER ONE OF THE ABOVE FABRICS WITH AN OIL-ABSORBANT PILLOW INSERT OR, MADE COMPLETELY FROM AN OIL-ABSORBANT SILTSACK, WITH A WOVEN PILLOW INSERT.

SOIL STABILIZATION TIME FRAMES

SITE DESCRIPTION	STABILIZATION TIME	TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAT 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERIMETERS AND HQW ZONES.

SEEDING AND MULCHING: (West)

The kinds of seed and fertilizer, and the rates of application of seed, fertilizer, and limestone, shall be as stated below. During periods of overlapping dates, the kind of seed to be used shall be determined. All rates are in pounds per acre.

Shoulder and Median Areas

August	1 - June 1	Mav 1 -	- September 1
20#	Kentucky Bluegrass	20#	Kentucky Bluegrass
75#	Hard Fescue	75#	Hard Fescue
25#	Rye Grain	10#	German or Browntop Millet
500#	Fertilizer	500#	Fertilizer
4000#	Limestone	4000#	Limestone

Areas Beyond the Mowing Pattern, Waste and Borrow Areas:

August	1 - June 1	May 1 -	- September 1
100#	Tall Fescue	100 [#]	Tall Fescue
15#	Kentucky Bluegrass	15#	Kentucky Bluegrass
30#	Hard Fescue	30#	Hard Fescue
25#	Rye Grain	10#	German or Browntop Mille
500#	Fertilizer	500#	Fertilizer
4000#	Limestone	4000#	Limestone

Approved Tall Fescue Cultivars

06 Dust Escalade Justice Serengeti 2nd Millennium Essential Kalahari Shelby 3rd Millennium Evergreen 2 Kitty Hawk 2000 Sheridan Apache III Falcon IV Legitimate Signia Avenger Falcon NG Lexington Silver Hawk Barlexas Falcon V LSD Sliver Hawk Barlexas Falcon V LSD Silver Hawk Barlexas Falcon V LSD Silver Hawk Barrera Falcon V Los Silver Hawk Barrera Falcon V Los Silver Hawk Barrera Falcon V Los <th>* *</th> <th></th> <th></th> <th></th>	* *			
	2nd Millennium 3rd Millennium Apache III Avenger Barlexas Barlexas II Bar Fa Barrera Barrington Barrobusto Barvado Biltmore Bingo Bizem Firenza Five Point Focus Braveheart Bravo Bullseye Cannavaro Catalyst Cayenne Cessane Rz Chipper Cochise IV Constitution Corgi Corona Coyote Darlington Davinci Van Gogh Reunion Riverside	Essential Evergreen 2 Falcon IV Falcon NG Falcon V Faith Fat Cat Festnova Fidelity Finelawn Elite Finelawn Xpress Finesse II Firebird Firecracker LS Patagonia Pedigree Picasso Forte Garrison Gazelle II Gold Medallion Grande 3 Greenbrooks Greenkeeper Gremlin Greystone Guardian 21 Guardian 41 Hemi Honky Tonk Hot Rod Hunter Desire Watchdog Wolfpack II	Kalahari Kitty Hawk 2000 Legitimate Lexington LSD Magellan Matador Millennium Monet Mustang 4 Ninja 2 Ol' Glory Olympic Gold PadreTaccoa Tanzania Trio Tahoe II Piedmont Plantation Proseeds 5301 Prospect Pure Gold Quest Raptor II Rebel Exeda Rebel Sentry Rebel IV Regiment II Regenerate Rendition Rhambler 2 SRP Rembrandt Inferno Dominion DynamicIntegrity	Shelby Sheridan Signia Silver Hawk Sliverstar Shenandoah Elite Sidewinder SRP Skyline Solara Southern Choice Speedway Spyder LS Sunset Gold Blackwatch Blackwatch Blade Runner II Bonsai Talladega Tarheel Terrano Titan ltd Titanium LS Tracer Traverse SRP Tulsa Time Turbo Turbo RZ Tuxedo RZ Ultimate Venture Umbrella Innovator RNPXtremegreen

Approved Kentucky Bluegrass Cultivars

Blue Velvet

4-Season

Leap Rambo Rhapsody Rhythm Rita Royce Rubicon Rugby II	Alexa II America Apollo Arcadia Aries Armada Arrow Arrowhead	Blueberry Boomerang Brilliant Cabernet Champagne Champlain Chicago II Corsair	Granite Hampton Harmonie Impact Jefferson Juliet Jump Start Keeneland
Shiraz	Aura	Courtyard	
Avid		Liberator	Langara
AVIG	Delight	Liberator	Skye Award
Diva Dynamo Eagleton Emblem Empire Envicta Everest Everglade Excursion Belissimo Bewitched Beyond	Madison Mercury Midnight Midnight II Moon Shadow Moonlight SLT Mystere Nu Destiny Nu Freedom II Freedom III Front Page	Solar Eclipse Sonoma Sorbonne Starburst Sudden Impact Total Eclipse Touche Tsunami Chicago Nu Glade Ddyssey Perfection	Awesome Bandera Barduke Barnique Baroness Barrister Barvette HGT Bedazzled Unique Valor Voyager II Washington
Blacksburg II	Futurity	Pinot	Zinfandel
Blackstone	Gaelic	Princeton 105	Blue Note Ginney II
Prosperity			
Annroved Hord F	Fescue Cultivors		

Gladstone

Quantum

Approved Hard Fescue Cultivars:

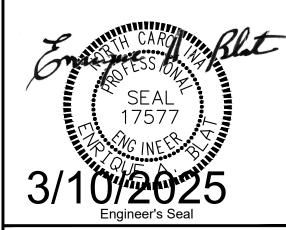
Aurora II	Eureka II	Oxford	Scaldis II
Aurora Gold	Firefly	Reliant II	Spartan II
Berkshire	Granite	Reliant IV	Stoneheng
Bighorn GT	Chariot	Heron	Nordic
Rescue 911	Rhino	neron	Noraic

On cut and fill slopes 2:1 or steeper add 20# Sericea Lespedeza January 1 - December 31.

Fertilizer shall be 10-20-20 analysis. A different analysis of fertilizer may be used provided the 1-2-2 ratio is maintained and the rate of application adjusted to provide the same amount of plant food as a 10-20-20 analysis and as directed.



PREPARED BY **ENGINEERING DEPARTMENT** CITY OF CONCORD P.O. BOX 308 CONCORD N.C. 28026 (704) 920-5425



Surveyor's Seal

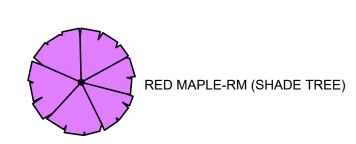
RKIN # < 0 0 REC. SION PRO

DESIGNED BY: EAB DRAWN BY: JBC CHECKED BY: EAB SCALE: AS SHOWN DATE: 12/10/2024

PROJECT NUMBER: 2020-001

OF:

SHEET: 12





BLACK GUM-BG (SHADE TREE)



EASTERN RED CEDAR-ERC (SHADE TREE)



EASTERN REDBUD-ER (ORNAMENTAL)



CAROLINA SILVER BELL-CSB (ORNAMENTAL)



PINK SHELL AZALEA-PSA (LARGE SHRUB)



ROSEBAY RHODODENDRON-RR (LARGE SHRUB)



PINK SHELL AZALEA-PSA (MEDIUM SHRUB)



ROSEBAY RHODODENDRON-RR (MEDIUM SHRUB)



PINK SHELL AZALEA-PSA (SMALL SHRUB)



ROSEBAY RHODODENDRON-RR (SMALL SHRUB)

Concord NC Landscape Notes

- Landscape contractor shall coordinate an on-site meeting with the City Arborist before installation of any plant material.
- 2. All work shall be in accordance with the current edition of the ANSI A300 Standard for Tree, Shrub, and other Woody Plant Management-Standard Practices.
- 3. All plant stock shall comply with the current edition of ANSI Z60.1 American Standard for Nursery Stock.
- Only biodegradable tree support materials shall be used.
- All planting areas shall meet the requirements of the Concord Development Ordinance Article 11 and Technical Standards Article 7.
- 6. Height and width of plant material supersedes container size.7. Utilities shall be located before planting. www.nc811.org.
- 8. Planting locations will be adjusted to provide sufficient space for utilities, easements, street lighting, traffic signs, and sight triangles. 5' clearance around all sides of fire hydrants and utility appurtenances. No trees shall be planted within 75' of a residential stop sign. No plants or trees located within site triangles. 15' clearance from all street light poles. Shade trees shall be at least 20' from overhead primary electric lines. All tree and
- plant trunks shall be installed at least 4' from buildings, curbs, sidewalks, asphalt, fences and adjacent property lines.

 9. Any proposed redesign of the approved planting plan or plant species substitutions shall
- be approved by the City Arborist before installation.

 10. All trees and their planted location shall be inspected by City staff before approval. Any plant material which has died, turned brown, or defoliated prior to inspection shall be
- 11. Any proposed private irrigation may bisect but shall not run parallel within utility easements or street right of ways and shall meet the requirements of the City of Concord Code of Ordinance Chapter 62, section 62-164.

Planting Plan Notes

- 1. The contractor shall locate and verify the existence of all utilities prior to
- 2. The contractor shall supply all plant materials in quantities sufficient to complete the planting shown on all drawings.
- 3. All plant material shall conform to American Association of Nurserymen's (American Standard for Nursery Stock) and shall be warranted for replacement for a period of on (1) calendar year after completion and acceptance of the landscape installation by the client or representative thereof.
- 4. No plant shall be put into the ground before rough grading has been
- finished and approved by the project manager or equal.

 5. All plants shall bear the same relationship to finished grade as the plant's
- original grade before digging.

 6. All plants shall be balled and wrapped or container grown as specified. No container grown stock will be accepted if it is root bound. All root wrapping material made of synthetics or plastics shall be removed at time of
- planting.
 7. With container grown stock, the container shall be removed and the
- container ball shall be cut through the surface in two vertical locations.

 8. The day prior to planting, the location of all trees and shrubs shall be staked for approval by the project manager or equal.
- 9. All plant material shall be selected at the nurseries by the project manager or equal.10. All plants shall be installed as per details and the contract specifications.
- 11. All plants and stakes shall be set plumb unless otherwise specified.12. The landscape contractor shall provide fill as per the contract specifications.
- specifications.

 13. The landscape contractor shall refer to the contract specifications for additional requirements.
- 14. The landscape contractor shall refer to the plant list for seasonal requirements related to the time of planting.
- 15. All planted areas shall be mulched. All other non-paved surfaces shall be seeded and strawed.



TOTAL PARKING AREA= 11,500 SF REQUIRED PARKING LOT YARD PLANTING AREA= 10% OF 11,500 SF= 1,150 SF

TOTAL PARKING LOT PLANTING AREA PROVIDED= 6,000 SF

YARD BUFFER CALCULATION TOTAL AREA = 2,713 SF. LENGTH: 175 FT. X 0.7 = 123 POINTS

YARD BUFFER PLANTING PROVIDED
6 SHADE TREES @ 12 POINTS EACH = 72 POINTS
4 ORNAMENTAL TREES @ 6 POINTS EACH = 24 POINTS
10 LARGE SHRUBS @ 3 POINTS EACH = 30 POINTS

TOTAL = 126 POINTS

BOOKER DRIVE SW STREET YARD BUFFER CALCULATION LENGTH: 175 FT. X 0.2 = 35 POINTS

STREET YARD BUFFER PLANTING PROVIDED
4 ORNAMENTAL TREES @ 6 POINTS EACH = 24 POINTS
4 MEDIUM SHRUBS @ 2 POINTS EACH = 8 POINTS
3 SMALL SHRUBS @ 1 POINT EACH = 3 POINTS

TOTAL = 35 POINTS

LINCOLN STREET

STREET YARD BUFFER CALCULATION LENGTH: 115 FT. X 0.2 = 23 POINTS

STREET YARD BUFFER PLANTING PROVIDED
3 ORNAMENTAL TREES @ 6 POINTS EACH = 18 POINTS
5 SMALL SHRUBS @ 1 POINT EACH = 5 POINTS

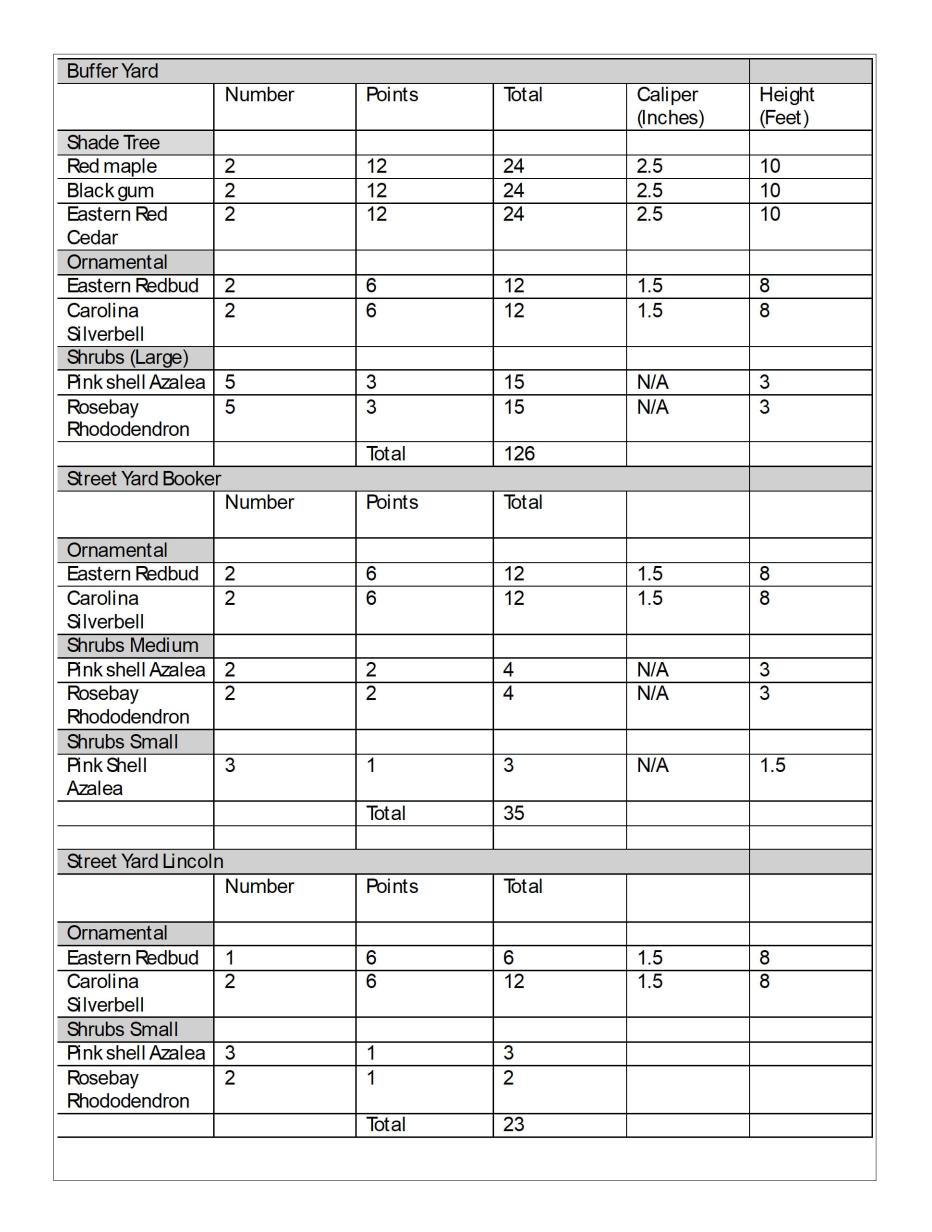
TOTAL = 23 POINTS

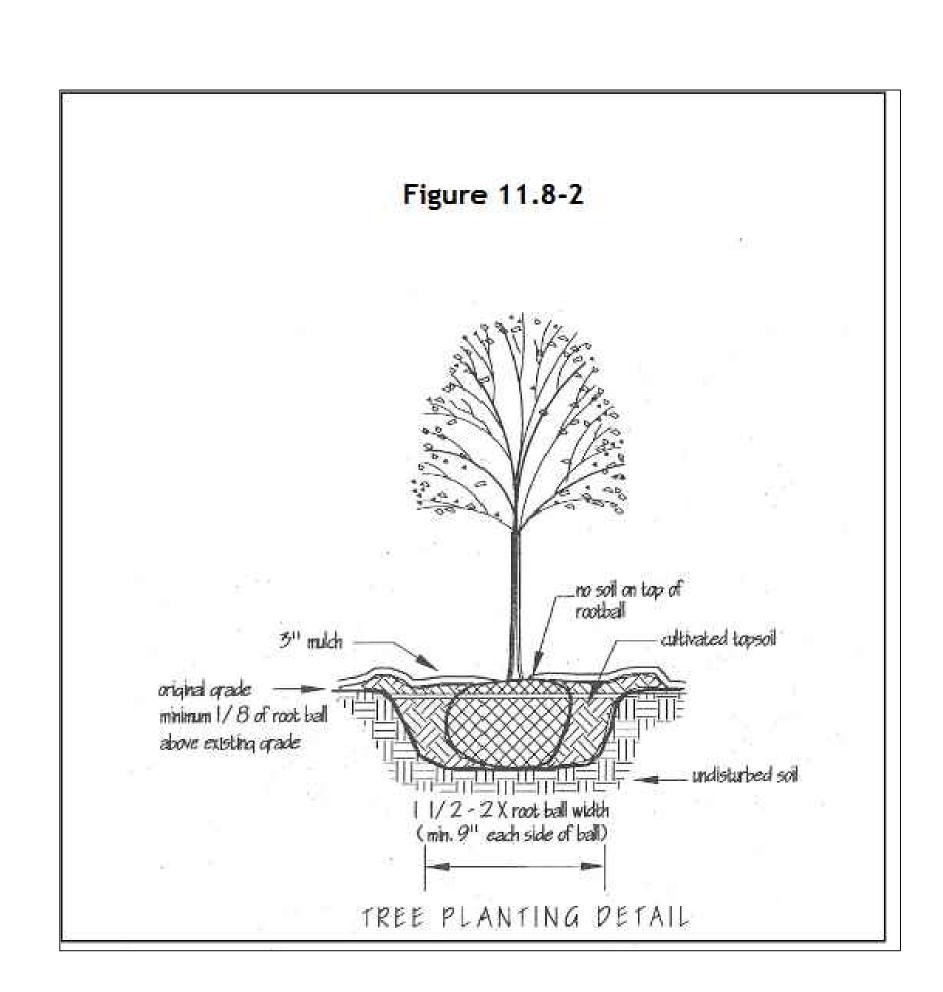
SCALE: AS SHOWN

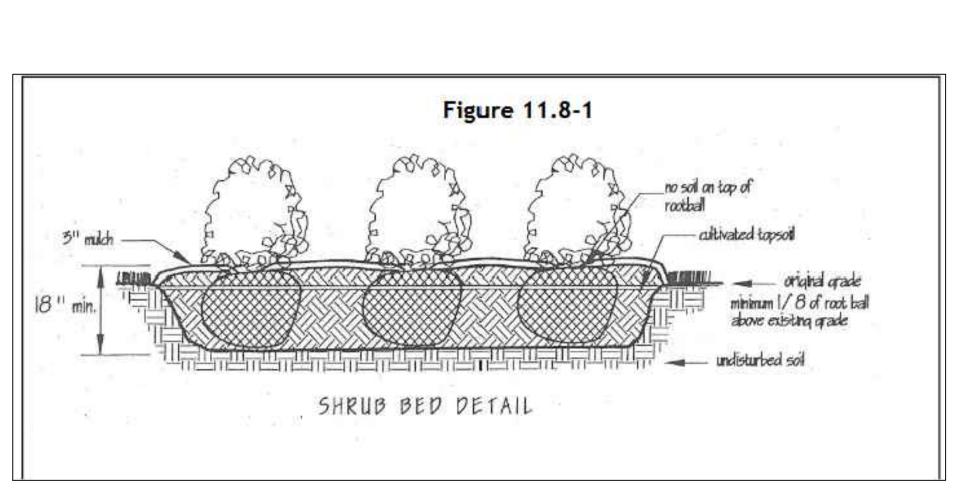
DATE: 12/10/2024

PROJECT NUMBER: 2020-001

High Performance Living PREPARED BY **ENGINEERING DEPARTMENT** CITY OF CONCORD P.O. BOX 308 CONCORD N.C. 28026 (704) 920-5425 Surveyor's Seal EC. PA PLANT PROJECT A V DESIGNED BY: EAB DRAWN BY: JBC CHECKED BY: EAB







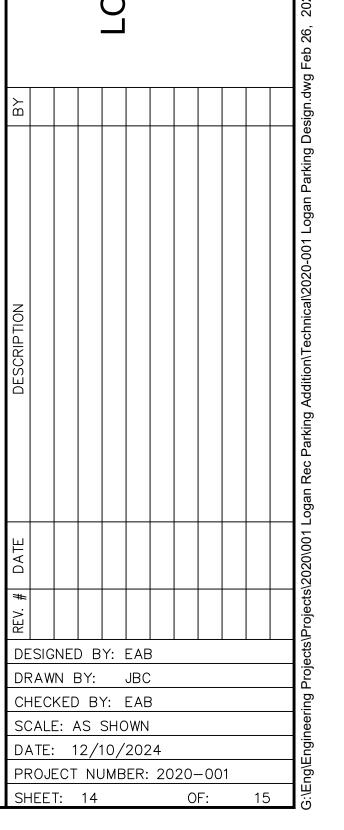


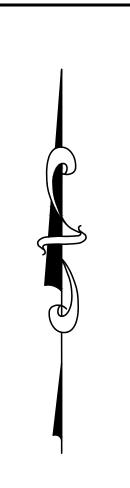
PREPARED BY
ENGINEERING DEPARTMENT
CITY OF CONCORD
P.O. BOX 308
CONCORD N.C. 28026
(704) 920-5425

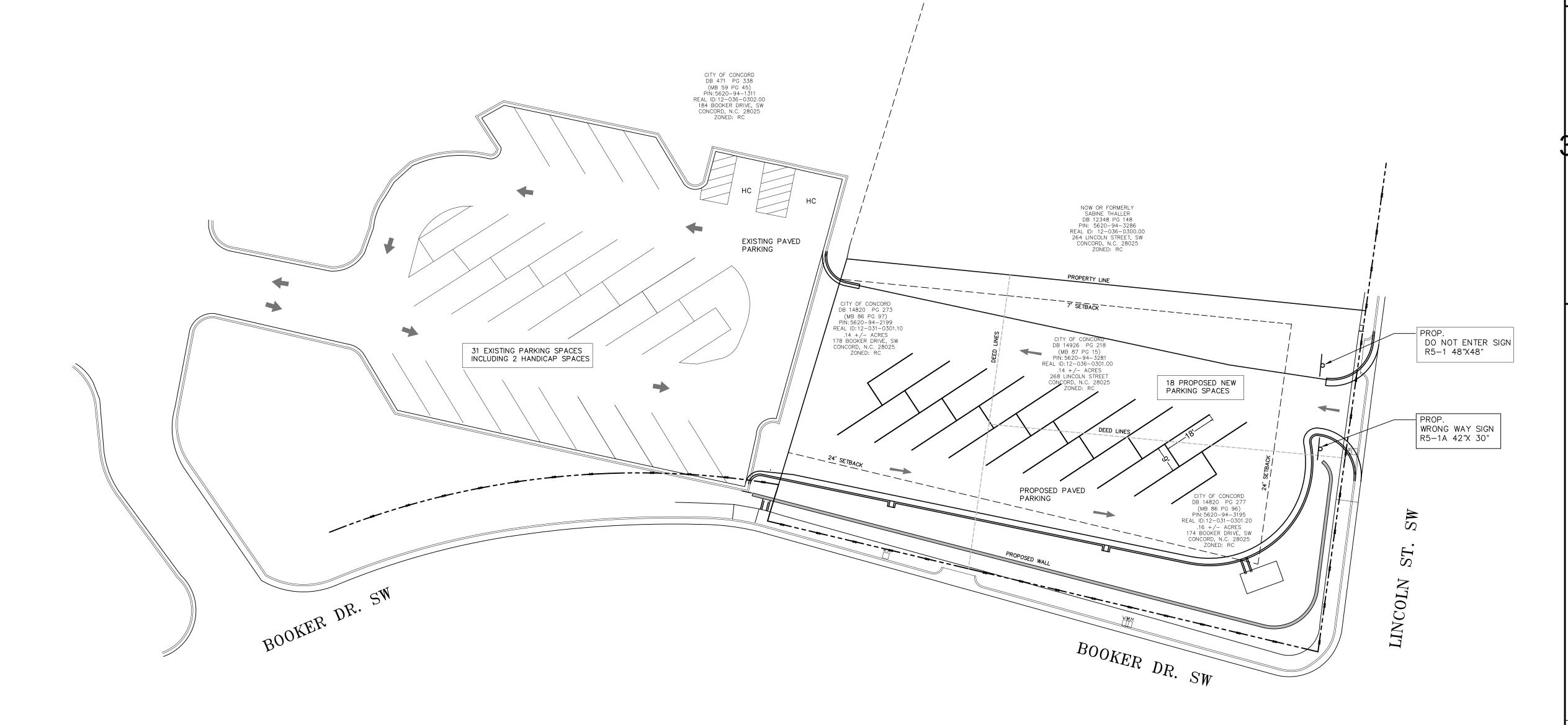


Surveyor's Seal

GAN REC. PARKING EXTENTION
PLANTING PLAN
PROJECT #: 2020-001







- 1. THE TOTAL NUMBER OF EXISTING PARKING SPACES AT 184 BOOKER (LOGAN COMMUNITY CENTER) IS 31 INCLUDING TWO ADA SPACES.
- 2. THE TOTAL NUMBER OF PARKING SPACES ADDED AT 174 BOOKER IS 18 (TO SERVE THE LOGAN COMMUNITY CENTER). 3. THE TOTAL NUMBER OF PARKING SPACES FOR THE COMBINED
- PARKING LOT IS 49 WITH 2 ADA SPACES PROVIDED.

 4. THE NUMBER OF ADA PARKING SPACES REQUIRED IS 2. 5. THE PROPOSED USE IS FOR ACCESSORY PARKING FOR THE
- LOGAN RECREATION CENTER.

SETBACKS:

FRONT YARD = 24 FT. STREET = 24 FT. SIDE REAR = 7 FT. = 5 FT.

ACCESSORY STUCTURES:

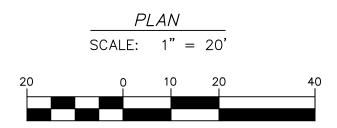
= 7 FT. REAR = 5 FT. IMPERVIOUS:

PROPOSED IMPERVIOUS = APPROX. 60% - (11,724 SQ. FT.) FOR ACCESSORY USE TO LOGAN COMMUNITY CENTER

AREA'S

178 BOOKER DRIVE SW - 5,924 SQ. FT. - .14 ACRES IMPERVIOUS AREA - 4,259 SQ FT. - 10 ACRES 174 BOOKER DRIVE SW - 6,886 SQ. FT. - .16 ACRES IMPERVIOUS AREA - 3,919 SQ FT. - .09 ACRES

268 LINCOLN STREET - 6,034 SQ. FT. - .14 ACRES IMPERVIOUS AREA - 3,549 SQ FT. - .08 ACRES TOTAL = 18,844 SQ. FT. - .44 ACRES TOTAL IMPERVIOUS = 11,727 SQ. FT. - .27 ACRES

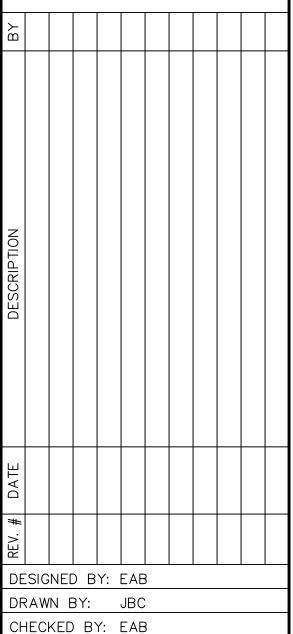




PREPARED BY ENGINEERING DEPARTMENT CITY OF CONCORD P.O. BOX 308 CONCORD N.C. 28026 (704) 920-5425



Surveyor's Seal



SCALE: AS SHOWN

DATE: 12/10/2024

PROJECT NUMBER: 2020-001